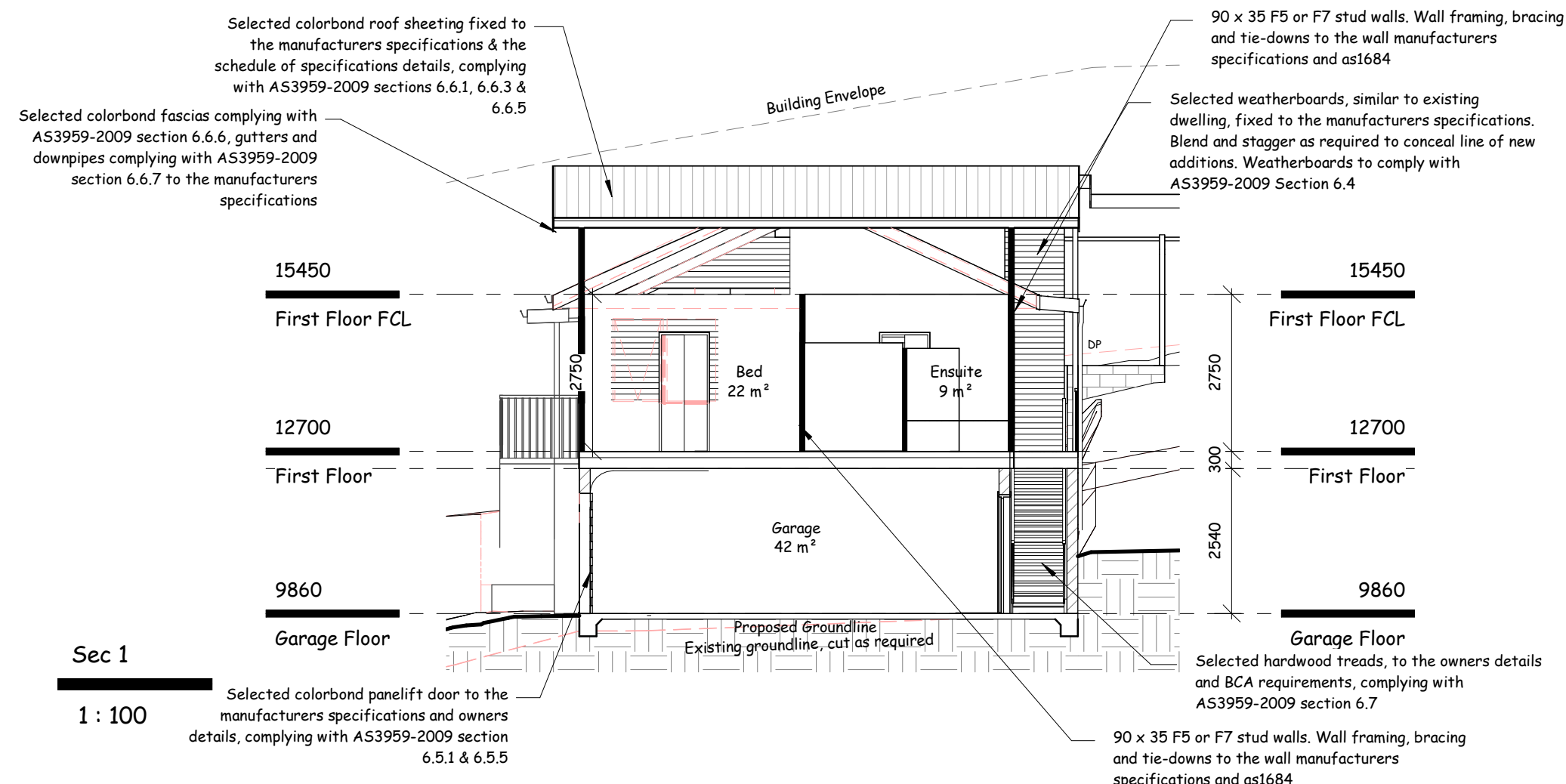


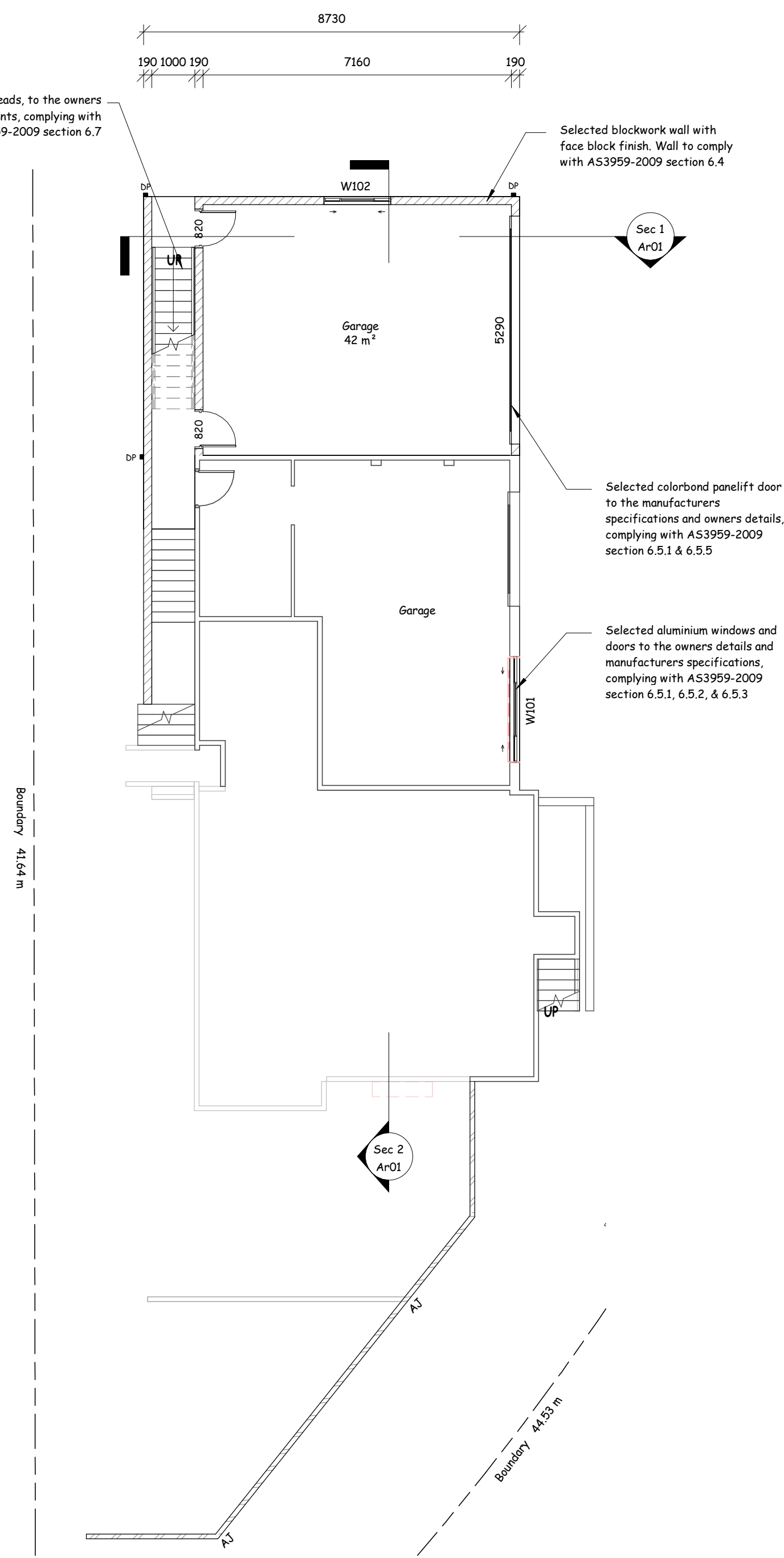
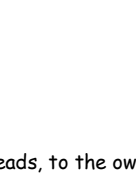
First Floor

1 : 100



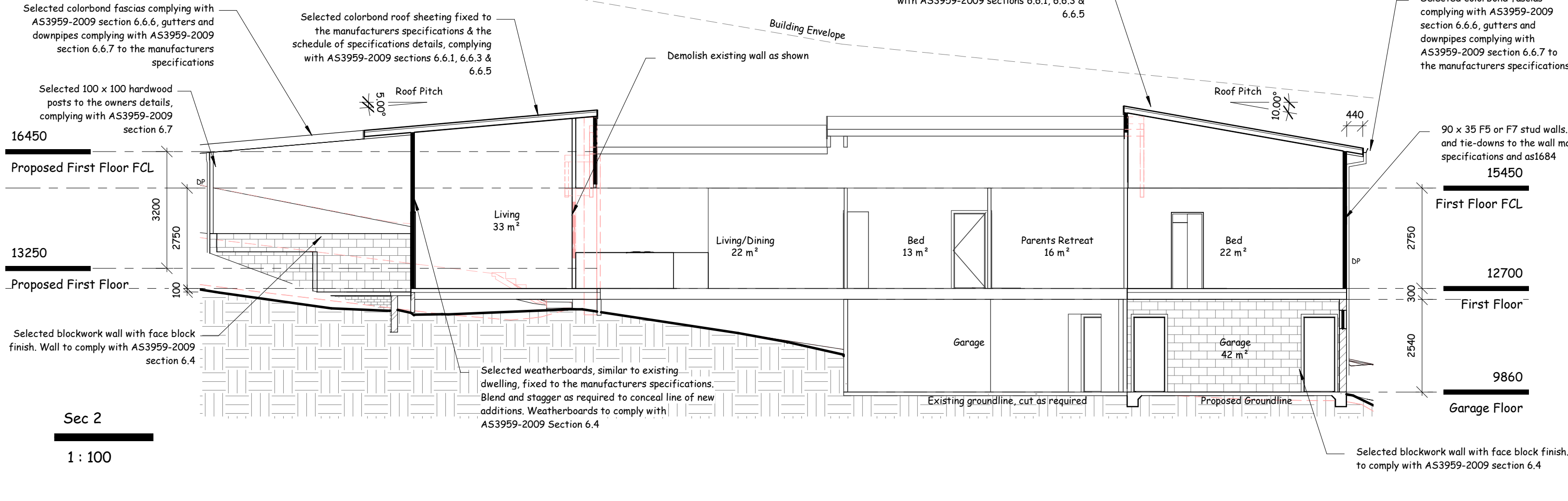
Sec 1

1 : 100



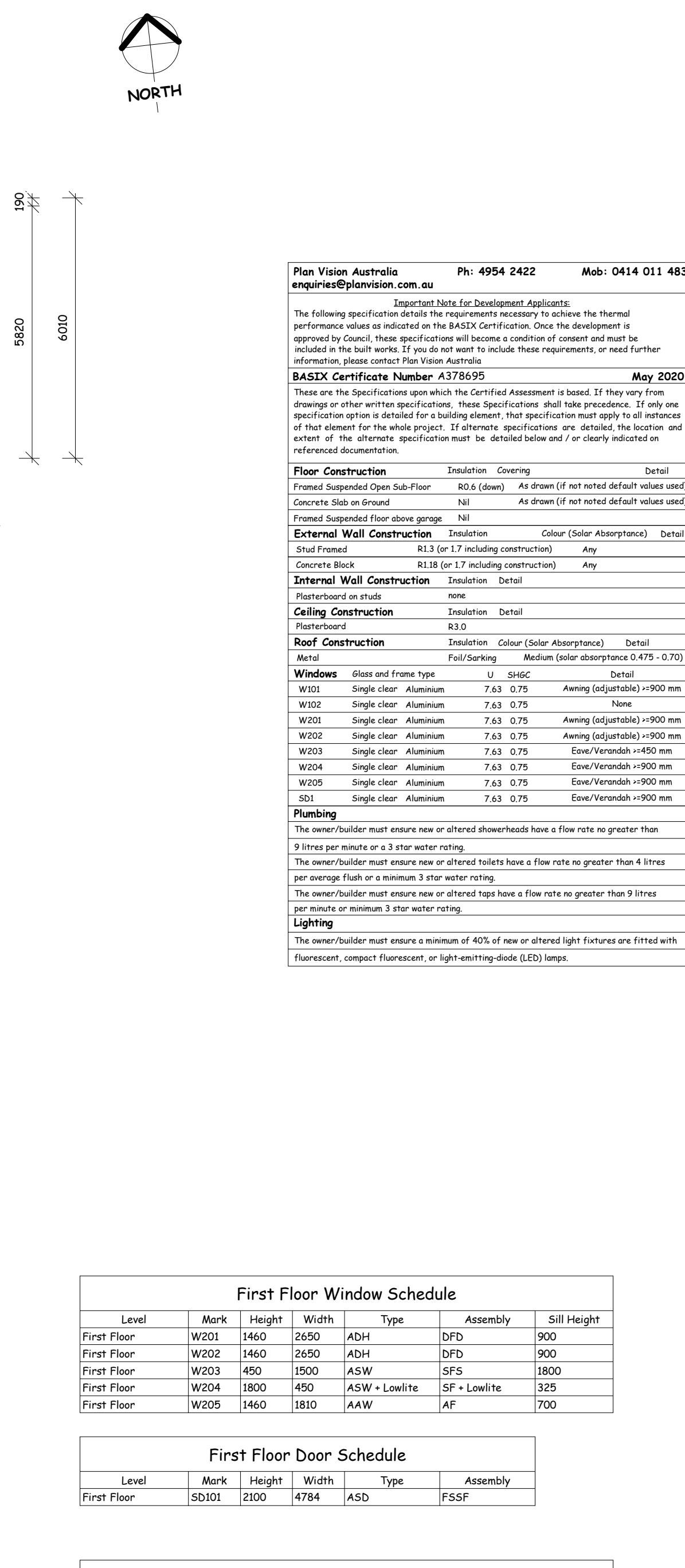
Ground Floor

1 : 100



Sec 2

1 : 100



Plan Vision Australia
enquiries@planvision.com.au

Ph: 4954 2422 Mob: 0414 011 483

Important Note for Development Applicants:
The following specification details the requirements necessary to achieve the thermal performance values as indicated on the BASIX Certification. Once the development is approved by Council, these specifications will become a condition of consent and must be included in the built works. If you do not want to include these requirements, or need further information, please contact Plan Vision Australia.

BASIX Certificate Number A378595 **May 2020**

These are the Specifications upon which the Certified Assessment is based. If they vary from drawings or other written specifications, these Specifications shall take precedence. If only one specification option is detailed for a building element, that specification must apply to all instances of that element for the whole project. If alternate specifications are detailed, the location and extent of the alternate specification must be detailed below and / or clearly indicated on referenced documentation.

Floor Construction

External Wall Construction

Internal Wall Construction

Ceiling Construction

Roof Construction

Windows

Lighting

Plumbing

General Notes

Note: boundaries to be pegged and setout confirmed before commencement of construction

Note: All construction, especially timber components to comply with AS3959-2009, and planning for bushfire protection 2006, for Bal-19 construction. In particular note types of timbers that can be used in the Bal-19 zone. Excerpt from AS3959-2009 attached to last sheet

Revision Schedule

Client:

Address:

Date: 13/04/2020

Drawing No: 320-7120

Sheet: Ar01

Scale: 1 : 100 @ A1

Selected colorbond fascias complying with AS3959-2009 section 6.6.6, gutters and downpipes complying with AS3959-2009 section 6.6.7 to the manufacturers specifications

Selected 100 x 100 hardwood posts to the owners details, complying with AS3959-2009 section 6.7

Selected colorbond roof sheeting fixed to the manufacturers specifications & the schedule of specifications details, complying with AS3959-2009 sections 6.6.1, 6.6.3 & 6.6.5

Selected weatherboards, similar to existing dwelling, fixed to the manufacturers specifications. Blend and stagger as required to conceal line of new additions. Weatherboards to comply with AS3959-2009 Section 6.4

Selected weatherboards, similar to existing dwelling, fixed to the manufacturers specifications. Blend and stagger as required to conceal line of new additions. Weatherboards to comply with AS3959-2009 Section 6.4

Selected colorbond fascias complying with AS3959-2009 section 6.6.6, gutters and downpipes complying with AS3959-2009 section 6.6.7 to the manufacturers specifications

16450

Proposed First Floor FCL

12700

First Floor

Selected blockwork wall with face block finish. Wall to comply with AS3959-2009 section 6.4

Selected aluminium windows and doors to the owners details and manufacturers specifications, complying with AS3959-2009 section 6.5.1, 6.5.2, & 6.5.3

Selected 110mm thick brick wall with exterior face brick finish, with 230 x 230 engaged piers located at 1800 ctrs max. Wall to comply with AS3959-2009 section 6.4. Blend and stagger brickwork with existing, as required, to conceal line of new additions

Selected aluminium windows and doors to the owners details and manufacturers specifications, complying with AS3959-2009 section 6.5.1, 6.5.2, & 6.5.3

Proposed Groundline
Existing groundline, cut as required

Selected colorbond panelift door to the manufacturers specifications and owners details, complying with AS3959-2009 section 6.5.1 & 6.5.5

East Elevation

1 : 100



3D View 1

Note: boundaries to be pegged and setout confirmed before commencement of construction

General Notes

1. Bracing and tie-down details to the engineers details and AS1684.2
2. All timber and steel to be installed and treated to the manufacturers specifications, especially for any exterior applications
3. All white ant protection to be strictly within the guidelines of AS3660 and installed by a qualified licenced pest control consultant

Selected weatherboards, similar to existing dwelling, fixed to the manufacturers specifications. Blend and stagger as required to conceal line of new additions. Weatherboards to comply with AS3959-2009 Section 6.4

Selected 100 x 100 hardwood posts to the owners details, complying with AS3959-2009 section 6.7

Selected colorbond fascias complying with AS3959-2009 section 6.6.6, gutters and downpipes complying with AS3959-2009 section 6.6.7 to the manufacturers specifications

Selected colorbond roof sheeting fixed to the manufacturers specifications & the schedule of specifications details, complying with AS3959-2009 sections 6.6.1, 6.6.3 & 6.6.5

Selected balustrade, 1000 high, 125 openings to BCA clause 3.9.2, to the owners details, complying with AS3959-2009 section 6.7

Selected colorbond roof sheeting fixed to the manufacturers specifications & the schedule of specifications details, complying with AS3959-2009 sections 6.6.1, 6.6.3 & 6.6.5

Selected weatherboards, similar to existing dwelling, fixed to the manufacturers specifications. Blend and stagger as required to conceal line of new additions. Weatherboards to comply with AS3959-2009 Section 6.4

15450

First Floor FCL

12700

First Floor

9860

Selected aluminium windows and doors to the owners details and manufacturers specifications, complying with AS3959-2009 section 6.5.1, 6.5.2, & 6.5.3

Existing groundline, cut as required

Selected hardwood treads, to the owners details and BCA requirements, complying with AS3959-2009 section 6.7

Selected blockwork wall with face block finish. Wall to comply with AS3959-2009 section 6.4

North Elevation

1 : 100

15450

Proposed First Floor FCL

12700

First Floor

Selected 100 x 100 hardwood posts to the owners details, complying with AS3959-2009 section 6.7

Selected aluminium windows and doors to the owners details and manufacturers specifications, complying with AS3959-2009 section 6.5.1, 6.5.2, & 6.5.3

Selected 110mm thick brick wall with exterior face brick finish, with 230 x 230 engaged piers located at 1800 ctrs max. Wall to comply with AS3959-2009 section 6.4. Blend and stagger brickwork with existing, as required, to conceal line of new additions

South Elevation

1 : 100

Selected colorbond fascias complying with AS3959-2009 section 6.6.6, gutters and downpipes complying with AS3959-2009 section 6.6.7 to the manufacturers specifications

Selected colorbond roof sheeting fixed to the manufacturers specifications & the schedule of specifications details, complying with AS3959-2009 sections 6.6.1, 6.6.3 & 6.6.5

Selected balustrade, 1000 high, 125 openings to BCA clause 3.9.2, to the owners details, complying with AS3959-2009 section 6.7

Selected colorbond fascias complying with AS3959-2009 section 6.6.6, gutters and downpipes complying with AS3959-2009 section 6.6.7 to the manufacturers specifications

Selected weatherboards, similar to existing dwelling, fixed to the manufacturers specifications. Blend and stagger as required to conceal line of new additions. Weatherboards to comply with AS3959-2009 Section 6.4

Selected colorbond roof sheeting fixed to the manufacturers specifications & the schedule of specifications details, complying with AS3959-2009 sections 6.6.1, 6.6.3 & 6.6.5

15450

First Floor FCL

12700

First Floor

10000

Ground Floor

Selected weatherboards, similar to existing dwelling, fixed to the manufacturers specifications. Blend and stagger as required to conceal line of new additions. Weatherboards to comply with AS3959-2009 Section 6.4

Selected 15mm AC or 15mm structural grade ply. Wetseal to manufacturers specifications, selected tiles over fixed to the manufacturers specifications

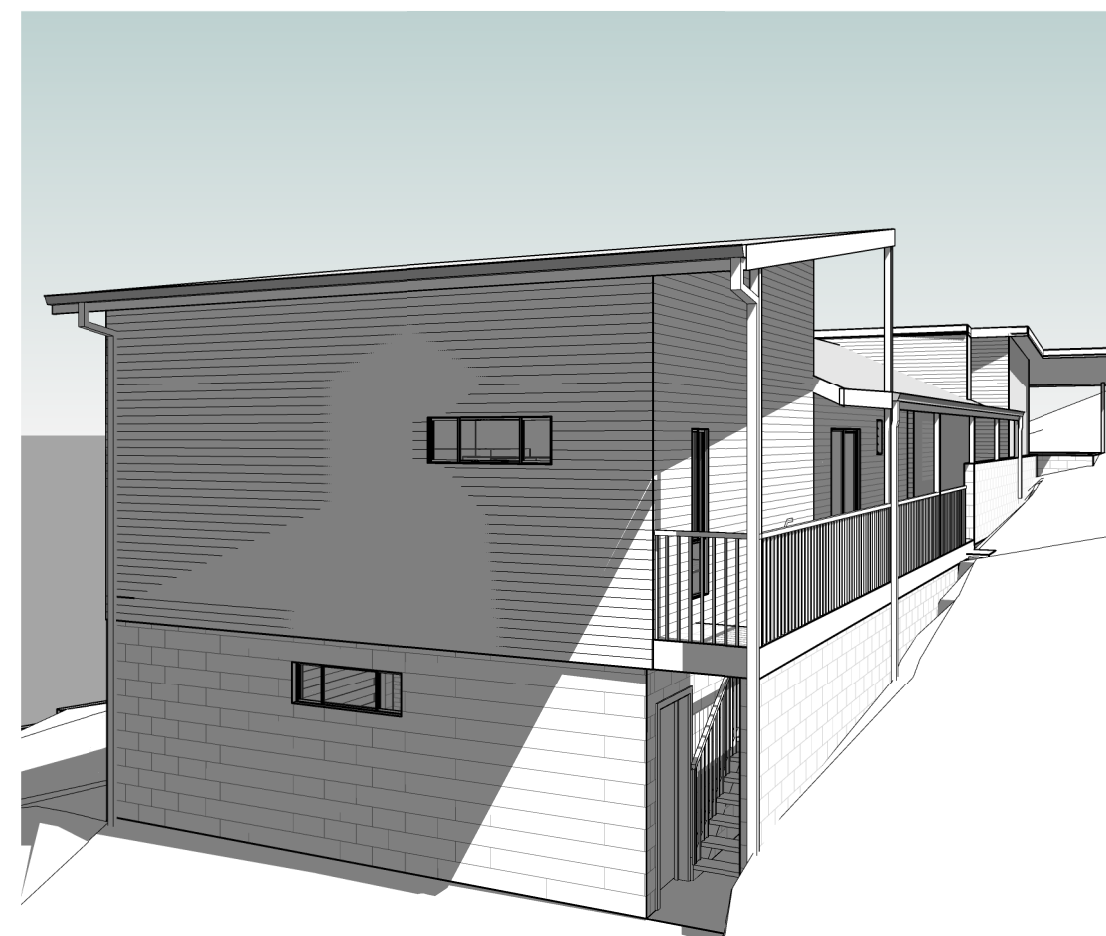
Selected blockwork wall with face block finish. Wall to comply with AS3959-2009 section 6.4

Selected blockwork wall with face block finish. Wall to comply with AS3959-2009 section 6.4

Selected 100 x 100 hardwood posts to the owners details, complying with AS3959-2009 section 6.7

West Elevation

1 : 100



3D View 3

Note: All construction, especially timber components to comply, with AS3959-2009, and planning for bushfire protection 2006, for Bal-19 construction. In particular note types of timbers that can be used in the Bal-19 zone. Excerpt from AS3959-2009 attached to last sheet



PLAN VISION

27 Eighth Street, Adamstown
W/ (02) 40231266 M/ 0414 011 483

BUILDERS NOTE:

Use Dimensions in preference to scale.
Site verify all dimensions before ordering Materials.
Footings information shown on these plans may have to be changed if Builders site excavations reveal non-virgin ground. Consultation of Plan Vision Australia Pty Ltd would then be necessary to determine the required changes.
Builder to inspect adequacy of existing footings & piers for proposed scope of works. Replace existing footings & sub floor members as necessary.
Materials are under no circumstances to be ordered direct off Additions Plans.
Materials to be ordered are only to be ordered from a Builders or applicable product manufacturers separate site confirmed Materials list.
Additions plans are not intended to be the absolute medium for construction information accuracy due to existing buildings discrepancies and existing buildings hidden characteristics. See schedule of specifications for further details.

Wind Class: N2 (W3N) (Assumed)
Site Class: 'M' Soil Class: 'M'
Refer to Geotech report for more details

SURVEY NOTE:

Boundary dimensions are assumed only and taken from site information, others or owners information.
Confirm boundaries before commencement of construction.
Full project specific detailed survey plans have not been supplied to Plan Vision for planning purposes.
See schedule of specifications for details.

Revision Schedule

Date	Description
04/05/2020	Client Changes
27/05/2020	CDLC Changes
28/05/20	Basic Added

Additions & Alterations to existing

Client:

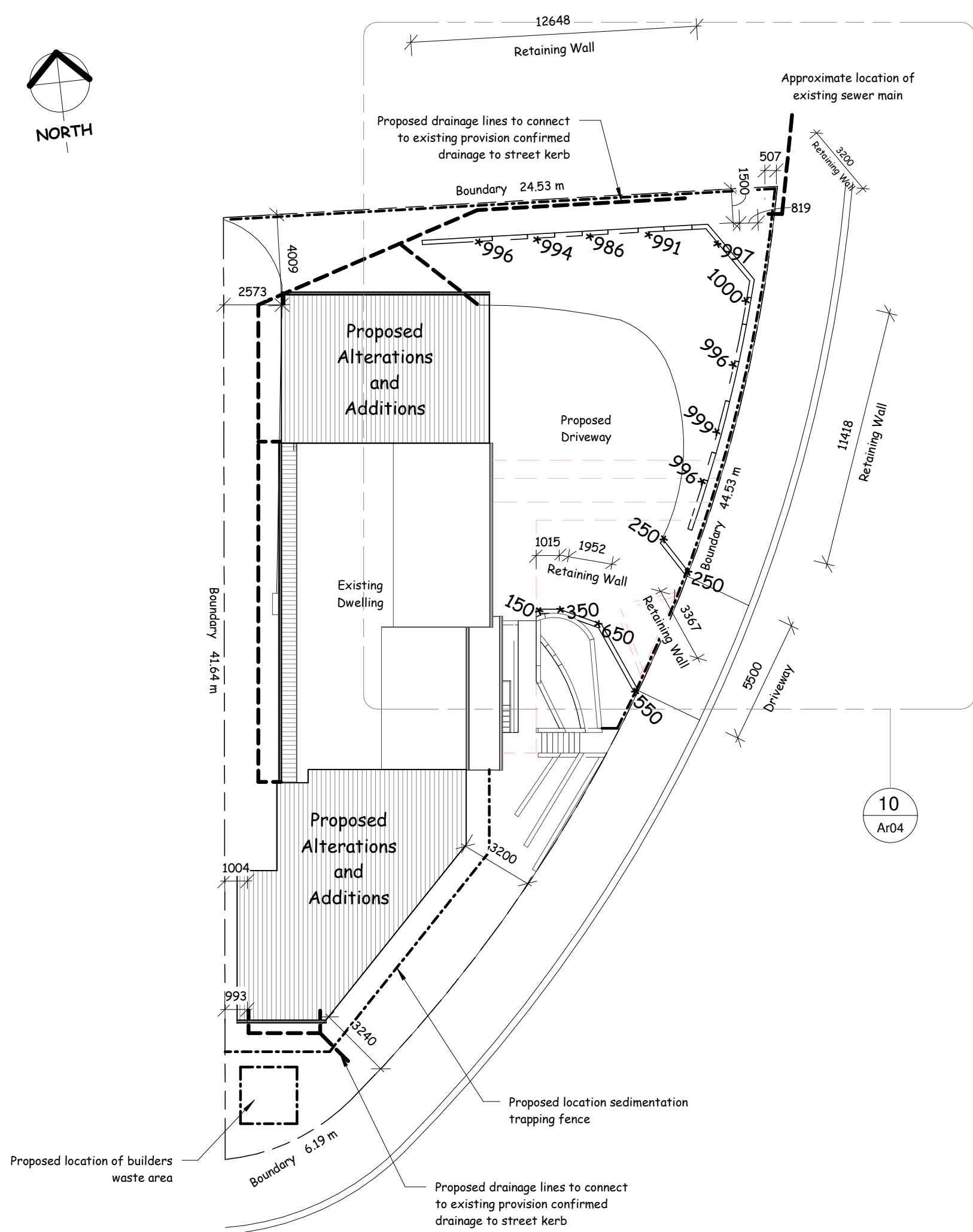
Address:

Date: 13/04/2020

Drawing No: 320-7120

Sheet: Ar02

Scale: 1 : 100 @ A1



Site Plan

1 : 200

Area Schedule		
Level	Name	Area
Ground Floor	Existing Garage	46.9 m ²
Ground Floor	Proposed Garage	45.7 m ²
First Floor	Existing Dwelling	103.2 m ²
First Floor	Existing Entry	11.8 m ²
First Floor	Proposed Alfresco	28.3 m ²
First Floor	Proposed Bed/WIR/Ensuite	45.4 m ²
First Floor	Proposed Deck	25.1 m ²
First Floor	Proposed Living	34.6 m ²
First Floor	Remaining Site	466.7 m ²

Site Area Calculations

Site Area = 715 m²
Total Existing Living = 103.2 m²
Total Proposed Living = 80 m²
Total Living Space = 183.2 m²
FSR = 0.28:1

Erosion and Sediment Controls

General Notes

- This plan shows the control objectives, philosophy and key control works for the site. The contractor shall provide supplementary works that reflect the adopted construction program and practices to ensure that erosion and sediment movement are managed in accordance with the objectives of this plan.
- Erosion and sediment hazard areas include stockpiles, exposed ground, embankments, cuttings concentrated flow paths and waterways.
- This plan is to be used as a guide only. The suitability of erosion and sediment control measures to be evaluated on site and where required, are to be modified under the supervision of a suitably qualified engineer and Council.

Pre-Construction Phase Notes

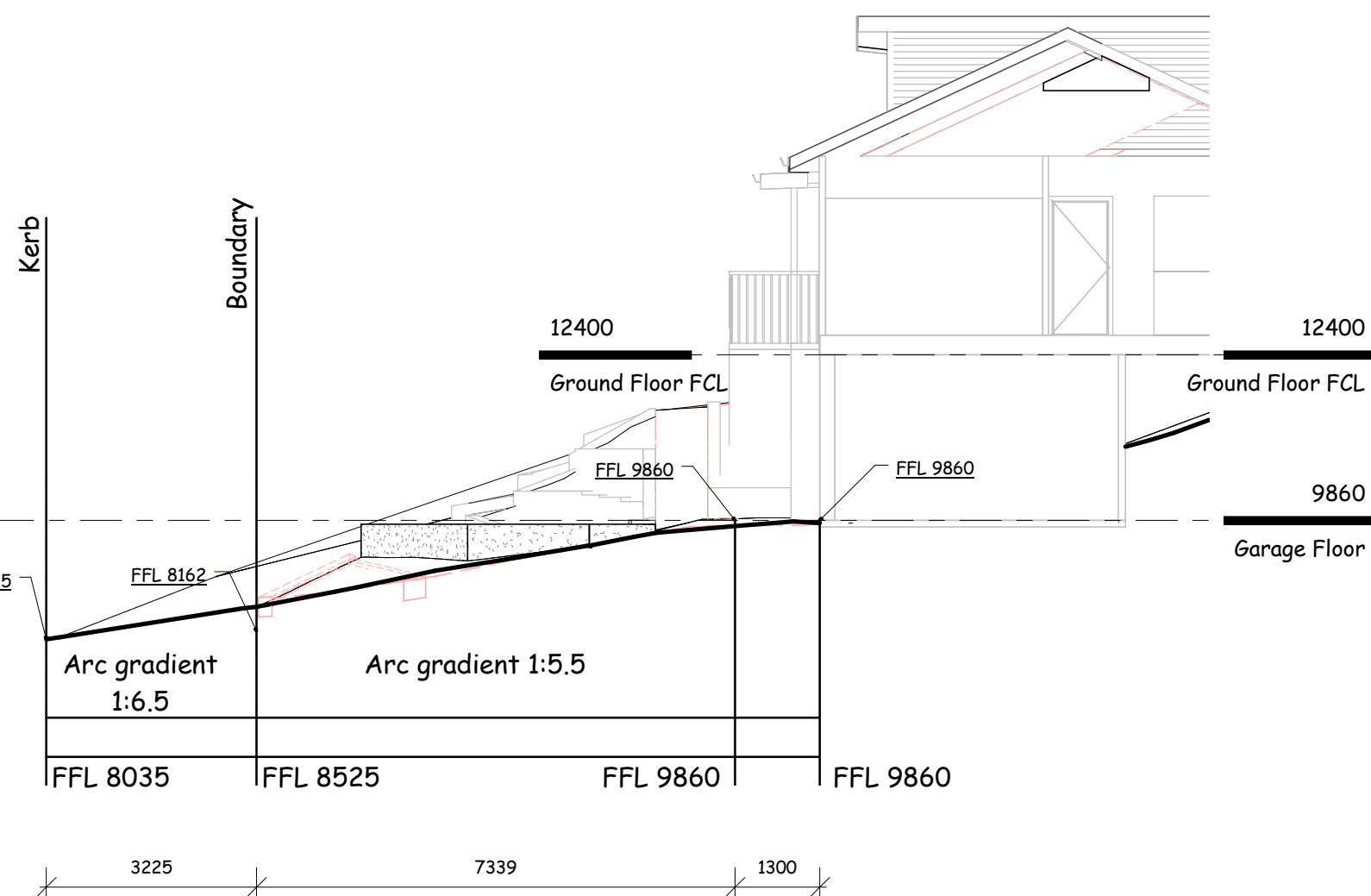
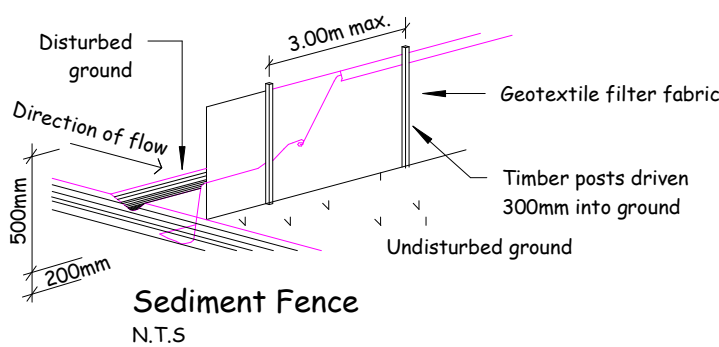
- Site works are not to start until the erosion and sediment control measures are installed and functional.
- Temporary sediment traps to be installed during construction (where applicable)
- Waste bins are to be provided for building waste or waste enclosure min. 1800 x 1800 x 1200mm high constructed using star pickets and 1200mm high weed control mat. Arrangement to be made for regular collection and disposal or recycling of construction waste.
- Entry and departure of vehicles is to be confined to the nominated existing vehicle access or stabilised site access. Sediment or barrier fencing will be used to restrict all vehicular movements to that access point. Stabilisation will be achieved by either:
a) constructing a sealed (eg concrete or asphalt) driveway to the street
b) constructing a stabilised site access according to Council's engineering standards.

Construction Phase Notes

- Topsoil is to be stripped from building site and stockpiled for later use in landscaping the site.
- The footpath and driveway, other than stabilised site access, is not to be disturbed, including stockpiling of materials. Where essential works (eg drainage) are required, the footpath is to be rehabilitated (turfed) as soon as possible.
- Where appropriate, an aggregate bag shall be placed in the gutter below the site access. The bag shall be made from green sediment fence material, or similar. The bag must be at least 450mm long, 200mm diameter, filled with less than 20mm blue metal or crushed rock. If the bag breaks or deteriorates, the bag shall be replaced immediately and the material cleaned out from any gutter, kerb, road surface or stormwater system it has entered. The use of hessian bags, and sand filled bags is not acceptable.
- All sedimentation controls are to be checked daily (at a min. weekly) and after all rain events. All structures to be cleaned on reaching 50% storage capacity to ensure they are maintained and in full functional condition. Excess materials and water from cleaning tools and equipment should not be washed down stormwater drains.

Post-Construction Phase Notes:

- Topsoil is to be re-spread and all disturbed areas rehabilitated (turfed) within 20 working days of completion of works. Where necessary, spray and seed disturbed areas.
- Roof downpipes to be connected to street kerb or other stormwater disposal system as nominated in the plans on completion of roof and guttering as soon as possible.



Driveway Gradient

1 : 100



Landscaping Plan

1 : 200

General Notes

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Note: boundaries to be pegged and setout confirmed before commencement of construction

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PLAN VISION

27 Eighth Street, Adamstown
W/ (02) 40231266 M/ 0414 011 483

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Wind Class: N2 (W33N) (Assumed)
Site Class: 'M' Soil Class: 'M'
Refer to Geotech report for more details

SURVEY NOTE:

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See schedule of specifications for details.

Revision Schedule

Date	Description
04/05/2020	Client Changes
27/05/2020	CDG Changes
28/05/20	Basix Added

Additions & Alterations to existing

Client:

Address:

Date: 13/04/2020

Drawing No: 320-7120

Sheet: Ar03

Scale: As indicated @ A1

