

# Additions & Alterations

## Architectural Drawing Index

<u>Sheet Number</u>	<u>Rev</u>	<u>Sheet Name</u>
Ar01	A	Cover Sheet
Ar02	A	Ground Floor Plan
Ar03	A	Elevations
Ar04	A	Elevations
Ar05	A	Sections
Ar06	A	3D Views
Ar07	A	Site Plan



**PLAN VISION**

27 Eighth Street, Adamstown  
W/ (02) 40231266 M/ 0414 011 483

### Revision Schedule

Rev	Date	Description
A	08/06/18	Engineering

**Client:**

**Address:**

Date Started: 09-04-2018

Drawing No: 318-6428

Sheet: Ar01

Scale: @ A3



Selected plasterboard linings to internal walls fixed to the manufacturers specifications & the schedule of specifications details

90 2120 90 4510 90 3520

**General Notes**

1. Bracing and tie-down details to the engineers details and AS1684.2
2. All timber and steel to be installed and treated to the manufacturers specifications, especially for any exterior applications
3. All white ant protection to be strictly within the guidelines of AS3660 and installed by a qualified licenced pest control consultant
4. AJ denotes masonry articulation joint, to be installed to AS 3700 section 4.8 requirements



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Site Class: 'M' Soil Class: 'M'  
Refer to Geotech report for more details

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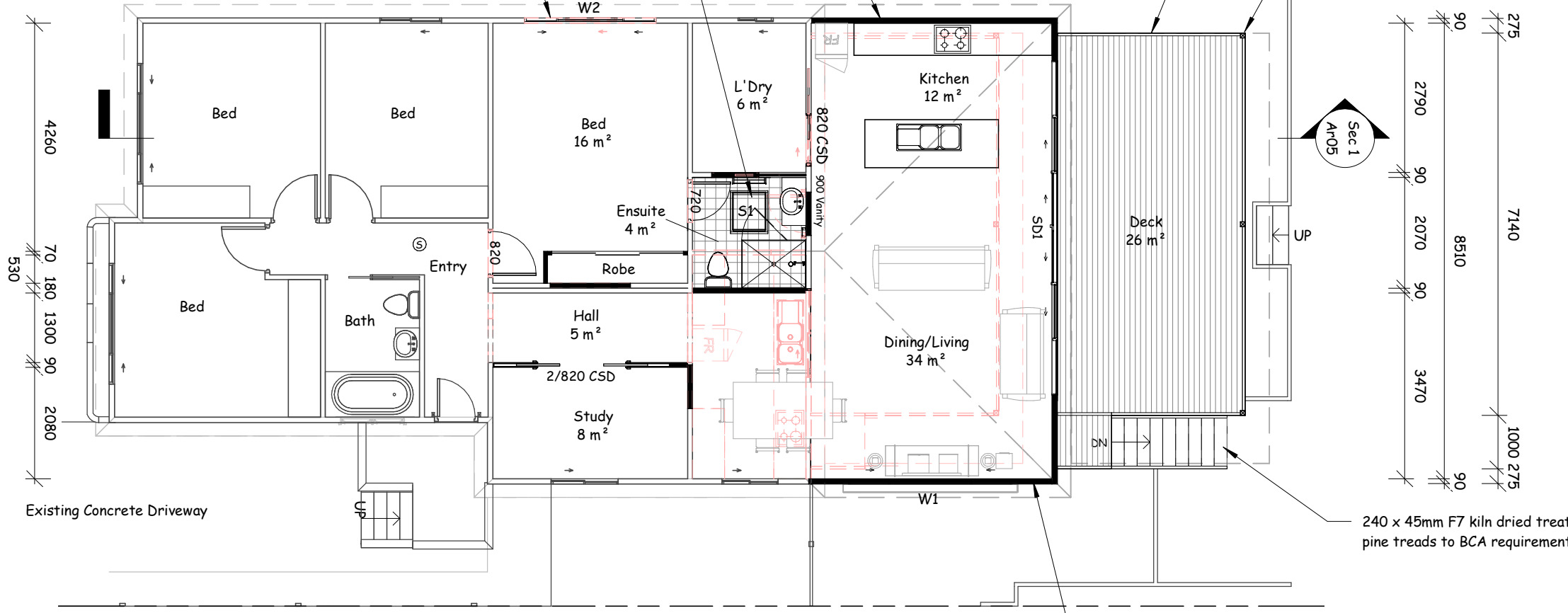
**Address:**

Date Started: 09-04-2018

Drawing No: 318-6428

Sheet: Ar02

Scale: 1 : 100 @ A3



**Ground Floor**

1 : 100

3640 90 2210 4510 90

**Ground Floor Drawing Legend**

Tag	Description
600 TR	600mm Long Towel Rail
HTR	Hand Towel Rail

**Ground Floor Door Schedule**

Level	Mark	Height	Width	Type	Assembly
Ground Floor	SD1	2100	6246	ASD	FSSSSF

**Ground Floor Window Schedule**

Level	Mark	Height	Width	Type	Assembly	Sill Height
Ground Floor FCL	S1	750	600	Skylight		
Ground Floor	W1	600	3010	ASW	SFS	1990
Ground Floor	W2	600	2410	ASW	SFS	1500

**Ground Floor Electrical Fixtures**

Key	Description	Count
⊙	Smoke Detector	1



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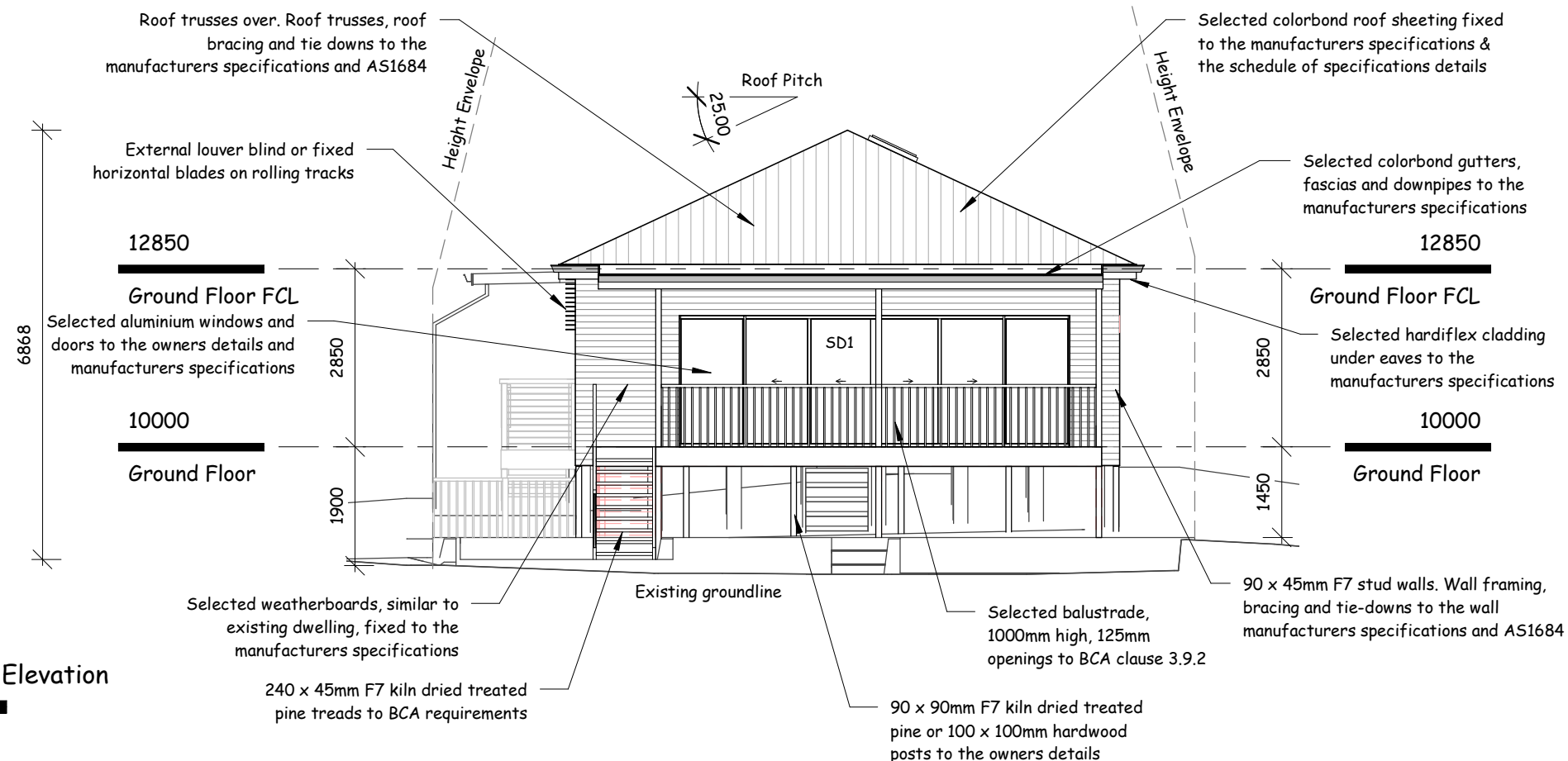
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Drawing No: 318-6428

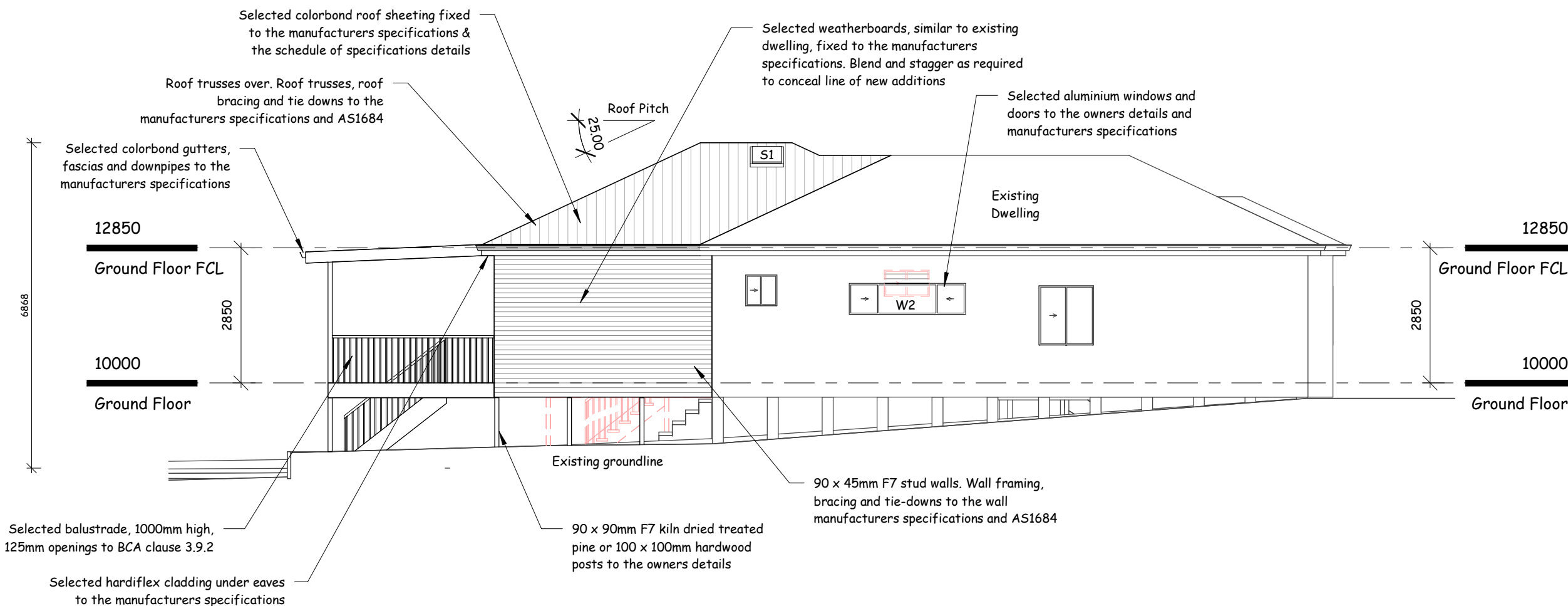
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Scale: 1 : 100 @ A3



**South West Elevation**

1 : 100



**South East Elevation**

1 : 100



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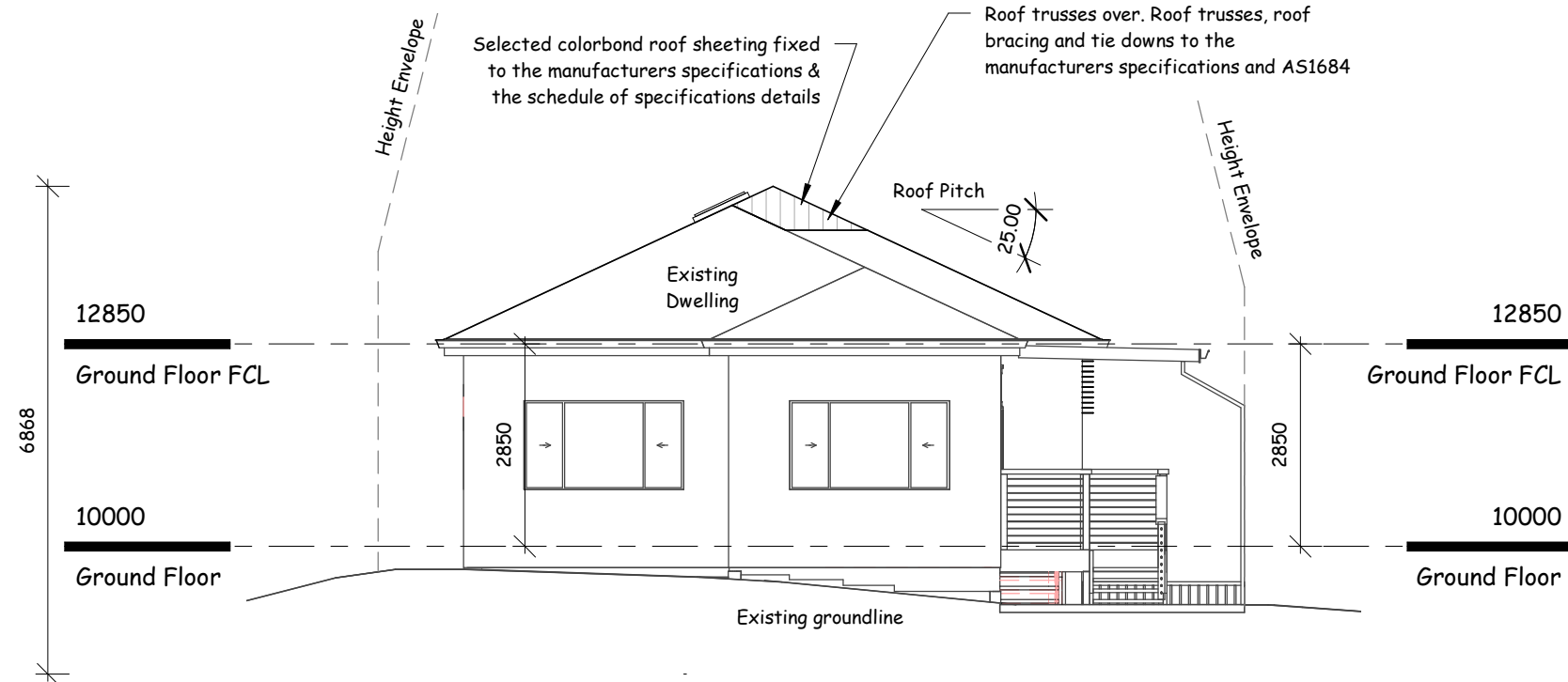
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Drawing No: 318-6428

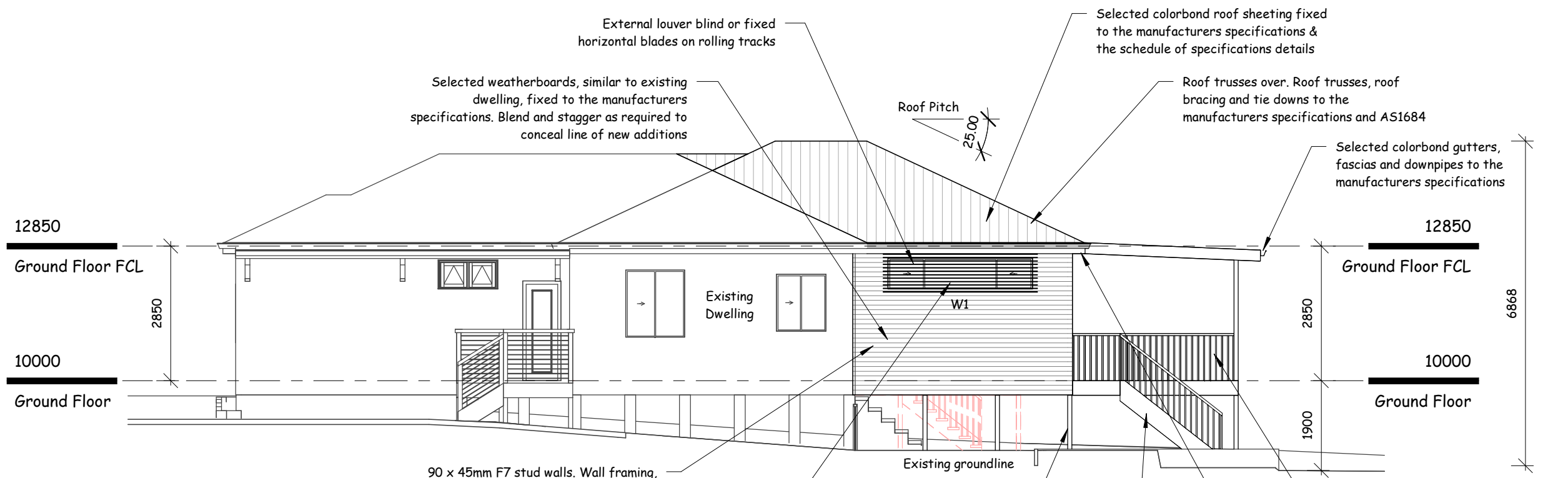
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Scale: 1 : 100 @ A3



**North East Elevation**

1 : 100



**North West Elevation**

1 : 100



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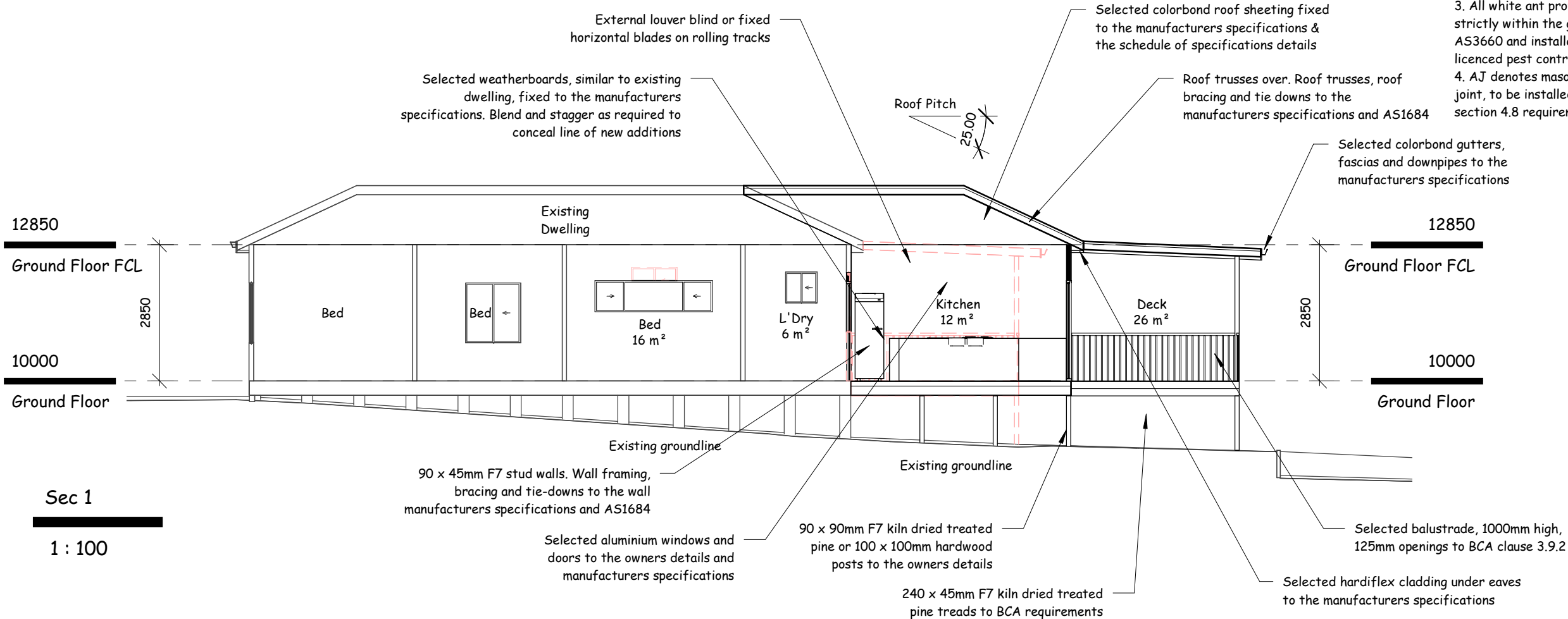
**Address:**

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Sheet: Ar05

Scale: 1 : 100 @ A3



12850  
Ground Floor FCL  
2850  
10000  
Ground Floor

12850  
Ground Floor FCL  
2850  
10000  
Ground Floor

Sec 1

1 : 100

External louver blind or fixed horizontal blades on rolling tracks

Selected weatherboards, similar to existing dwelling, fixed to the manufacturers specifications. Blend and stagger as required to conceal line of new additions

Selected colorbond roof sheeting fixed to the manufacturers specifications & the schedule of specifications details

Roof trusses over. Roof trusses, roof bracing and tie downs to the manufacturers specifications and AS1684

Selected colorbond gutters, fascias and downpipes to the manufacturers specifications

Roof Pitch 25.00

Existing Dwelling

Bed

Bed

Bed 16 m<sup>2</sup>

L'Dry 6 m<sup>2</sup>

Kitchen 12 m<sup>2</sup>

Deck 26 m<sup>2</sup>

Existing groundline

Existing groundline

90 x 45mm F7 stud walls. Wall framing, bracing and tie-downs to the wall manufacturers specifications and AS1684

Selected aluminium windows and doors to the owners details and manufacturers specifications

90 x 90mm F7 kiln dried treated pine or 100 x 100mm hardwood posts to the owners details

240 x 45mm F7 kiln dried treated pine treads to BCA requirements

Selected hardiflex cladding under eaves to the manufacturers specifications

Selected balustrade, 1000mm high, 125mm openings to BCA clause 3.9.2



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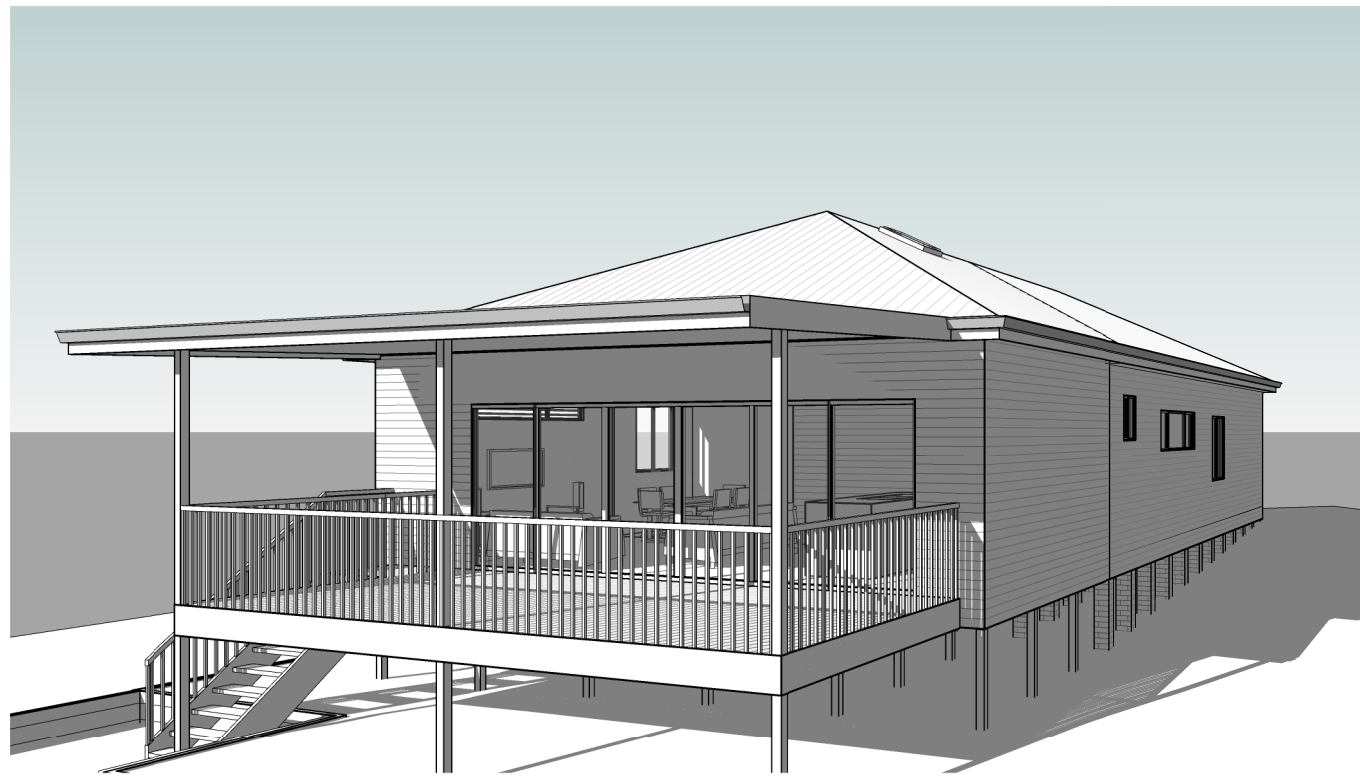
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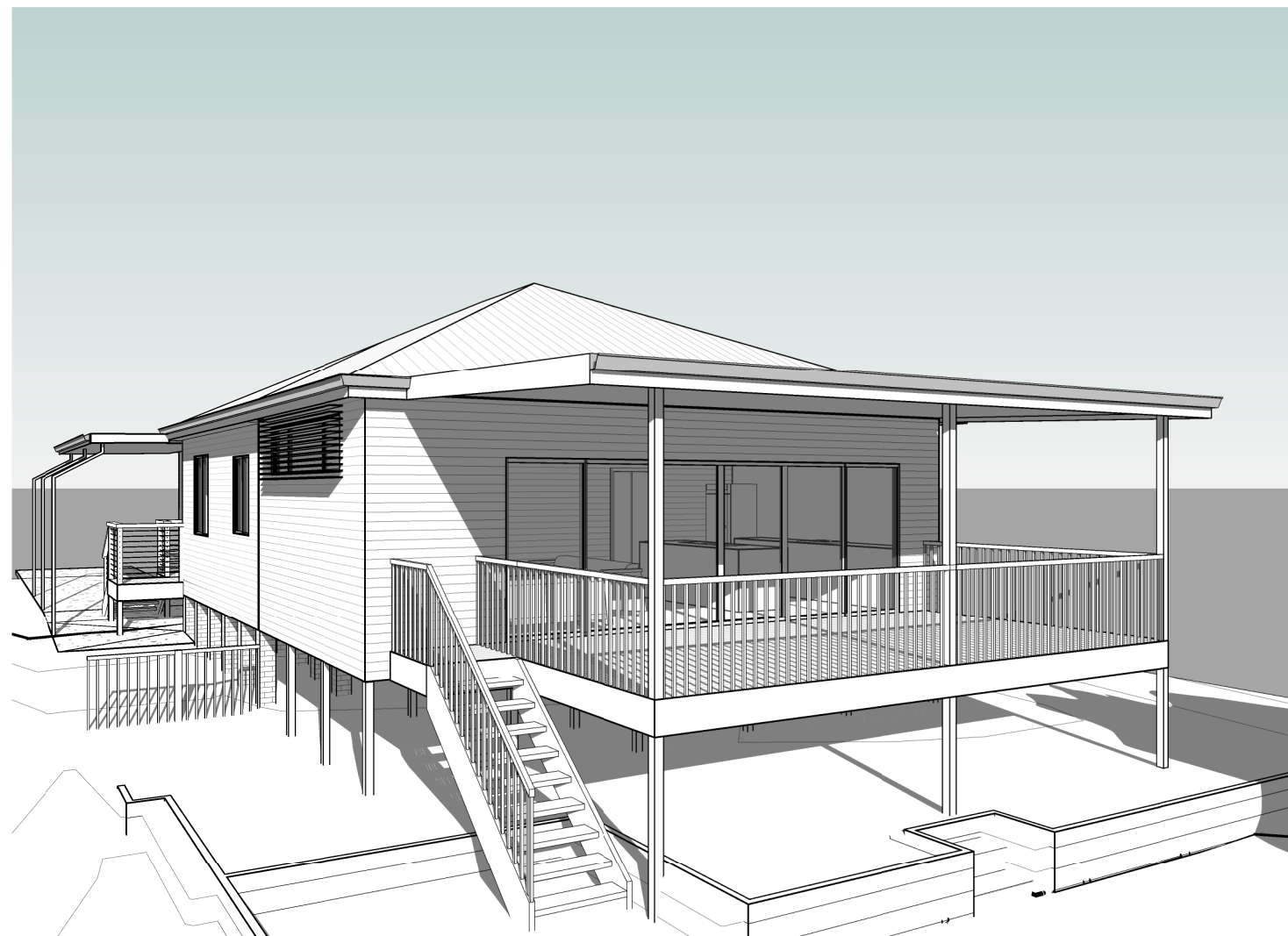
Drawing No: 318-6428

Sheet: Ar06

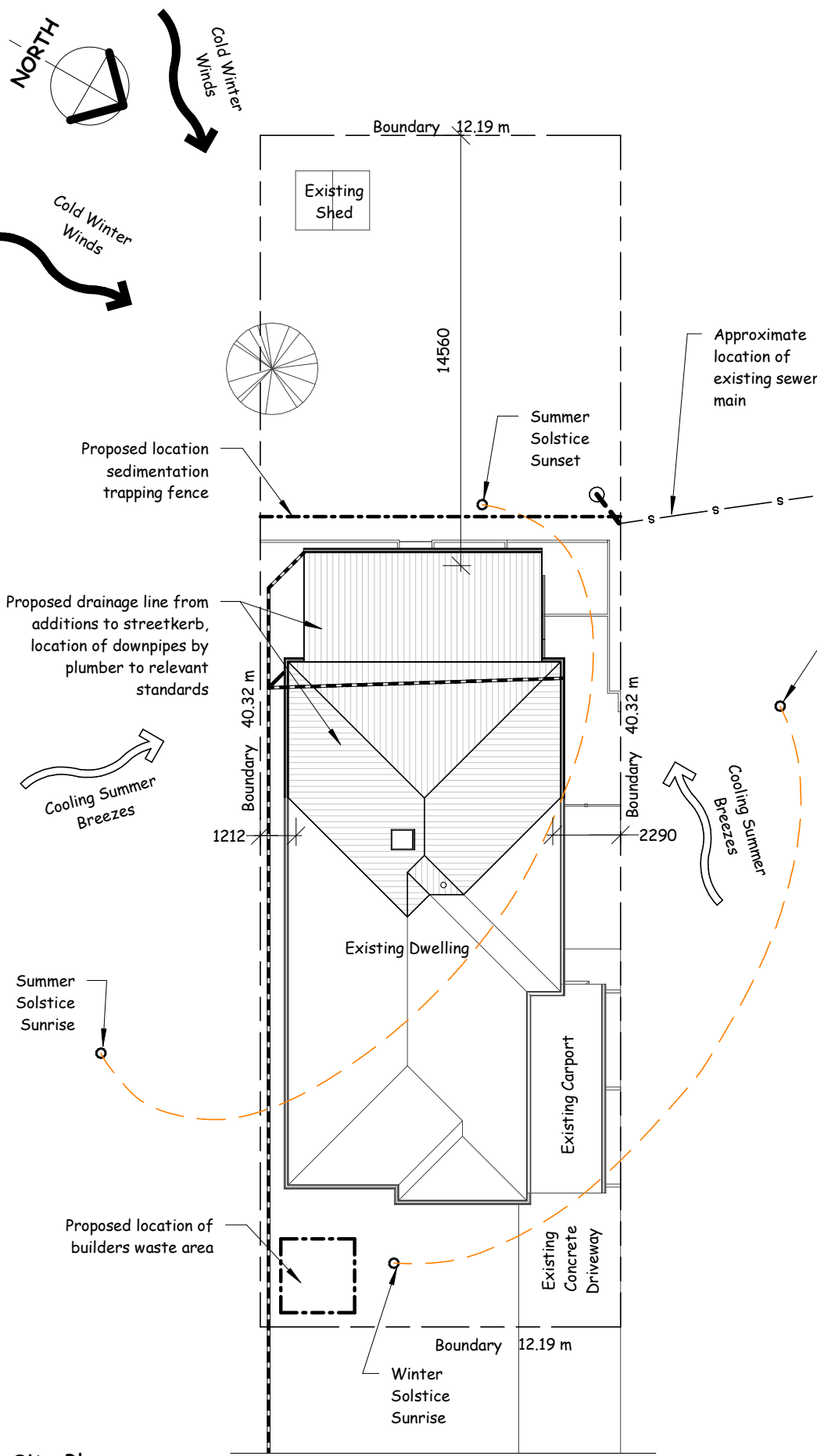
Scale: @ A3



**3D View 1**



**3D View 2**



Note: boundaries to be pegged and setout confirmed before commencement of construction

FSR = 0.28:1

Floor to Space Schedule	
Name	Area
Existing Dwelling Area	99.8 m <sup>2</sup>
Proposed Addition Area	39.1 m <sup>2</sup>
	139.0 m <sup>2</sup>
Site Area	491.6 m <sup>2</sup>

Site Area Schedule			
Name	Area	Coverage	Overall
Existing Driveway/Paths	38.0 m <sup>2</sup>	Impermeable	8%
Existing Dwelling Footprint	134.8 m <sup>2</sup>	Impermeable	27%
Existing Shed	5.0 m <sup>2</sup>	Impermeable	1%
Proposed Addition Footprint	40.1 m <sup>2</sup>	Impermeable	8%
	217.8 m <sup>2</sup>		44%
Remaining Site	273.8 m <sup>2</sup>	Permeable	56%
	273.8 m <sup>2</sup>		56%

**Plan Vision Australia** Ph: 4954 2422 Mob: 0414 011 483  
 enquiries@planvision.com.au

**Important Note for Development Applicants:**  
 The following specification details the requirements necessary to achieve the thermal performance values as indicated on the BASIX Certification. Once the development is approved by Council, these specifications will become a condition of consent and must be included in the built works. If you do not want to include these requirements, or need further information, please contact Plan Vision Australia

**BASIX Certificate Number A321124 June 2018**

These are the Specifications upon which the Certified Assessment is based. If they vary from drawings or other written specifications, these Specifications shall take precedence. If only one specification option is detailed for a building element, that specification must apply to all instances of that element for the whole project. If alternate specifications are detailed, the location and extent of the alternate specification must be detailed below and / or clearly indicated on referenced documentation.

External Wall Construction	Insulation	Colour (Solar Absorptance)	Detail	
Stud Framed	R1.3 (or 1.7 including construction)	Any		
Internal Wall Construction	Insulation	Detail		
Plasterboard on studs	none			
Ceiling Construction	Insulation	Detail		
Plasterboard	R3.0			
Roof Construction	Insulation	Colour (Solar Absorptance)	Detail	
Metal	Foil/Sarking	Medium (solar absorptance 0.475 - 0.70)		
Floor Construction	Insulation	Covering	Detail	
Framed Suspended Open Sub-Floor	R0.8 (down)	As drawn (if not noted default values used)		
Windows	Glass and frame type	U	SHGC	Detail
W1	Single clear Aluminium	7.63	0.75	External louvre/blind (fixed)
W2	Single clear Aluminium	7.63	0.75	None
SD1	Single clear Aluminium	7.63	0.75	Eave/Verandah >=900 mm
Skylight	Glass and frame type	U	SHGC	Shading Device
S1	Single clear Aluminium	6.21	0.808	None
Plumbing				
The owner/builder must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.				
The owner/builder must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.				
The owner/builder must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.				
Lighting				
The owner/builder must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.				

**Erosion and Sediment Controls**

**General Notes**

- This plan shows the control objectives, philosophy and key control works for the site. The contractor shall provide supplementary works that reflect the adopted construction program and practices to ensure that erosion and sediment movement are managed in accordance with the objectives of this plan.
- Erosion and sediment hazard areas include stockpiles, exposed ground, embankments, cuttings concentrated flow paths and waterways.
- This plan is to be used as a guide only. The suitability of erosion and sediment control measures to be evaluated on site and where required, are to be modified under the supervision of a suitably qualified engineer and Council.

**Pre-Construction Phase Notes**

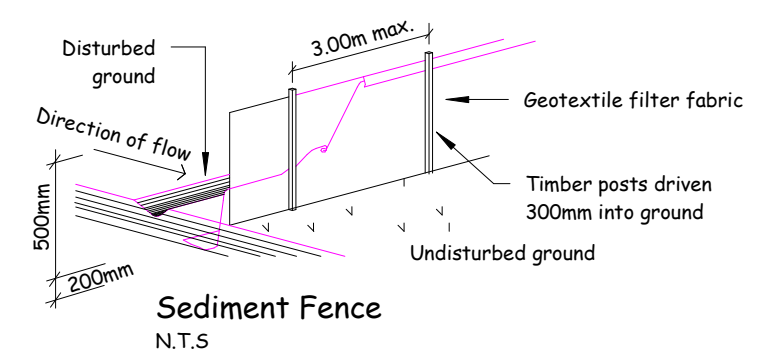
- Site works are not to start until the erosion and sediment control measures are installed and functional.
- Temporary sediment traps to be installed during construction (where applicable)
- Waste bins are to be provided for building waste or waste enclosure min. 1800 x 1800 x 1200mm high constructed using star pickets and 1200mm high weed control mat. Arrangement to be made for regular collection and disposal or recycling of construction waste.
- Entry and departure of vehicles is to be confined to the nominated existing vehicle access or stabilised site access. Sediment or barrier fencing will be used to restrict all vehicular movements to that access point. Stabilisation will be achieved by either:
  - constructing a sealed (eg concrete or asphalt) driveway to the street
  - constructing a stabilised site access according to Council's engineering standards.

**Construction Phase Notes**

- Topsoil is to be stripped from building site and stockpiled for later use in landscaping the site.
- The footpath and driveway, other than stabilised site access, is not to be disturbed, including stockpiling of materials. Where essential works (eg drainage) are required, the footpath is to be rehabilitated (turfed) as soon as possible.
- Where appropriate, an aggregate bag shall be placed in the gutter below the site access. The bag shall be made from green sediment fence material, or similar. The bag must be at least 450mm long, 200mm diameter, filled with less than 20mm blue metal or crushed rock. If the bag breaks or deteriorates, the bag shall be replaced immediately and the material cleaned out from any gutter, kerb, road surface or stormwater system it has entered. The use of hessian bags, and sand filled bags is not acceptable.
- All sedimentation controls are to be checked daily (at a min. weekly) and after all rain events. All structures to be cleaned on reaching 50% storage capacity to ensure they are maintained and in full functional condition. Excess materials and water from cleaning tools and equipment should not be washed down stormwater drains.

**Post-Construction Phase Notes:**

- Topsoil is to be re-spread and all disturbed areas rehabilitated (turfed) within 20 working days of completion of works. Where necessary, spray and seed disturbed areas.
- Roof downpipes to be connected to street kerb or other stormwater disposal system as nominated in the plans on completion of roof and guttering as soon as possible.



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Site Plan

1 : 200