

NOTE - BRACING AND TIE-DOWN DETAILS TO THE ENGINEERS DETAILS AND AS1684.2

NOTE - : ALL TIMBER TO BE INSTALLED TO THE MANUFACTURERS SPECIFICATIONS



Plan Vision Australia
27 Eighth Street, Adamstown
W/ (02) 40231266 M/ 0414 011 483

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Assumed N2 (W33N) Wind Speed
Assumed Class 'M'

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60 Robert Street Wallsend				
SUMMARY OF BASIX COMMITMENTS FOR EACH UNIT				
This is a summary of the BASIX Commitments as detailed in the BASIX Certificate. Refer to the CURRENT BASIX Certificate for Complete details. For definitions refer to basix.nsw.gov.au				
WATER COMMITMENTS				
Fixtures				
3 Star Shower Heads	Yes			
3 Star Kitchen / Basin Taps	Yes	3 Star Toilet	Yes	
Alternative Water				
Minimum Tank Size (L)	3000	Collected from Roof Area (m2)	78	
Tank Connected To:				
All Toilets	Yes	Laundry WM Cold Tap	Yes	
One Outdoor Tap	Yes			
THERMAL COMFORT COMMITMENTS - Refer to TPA Specification on plans				
ENERGY COMMITMENTS				
Hot Water	Gas Instantaneous	5 Star		
Cooling System	Living	Ceiling fans		
	Bedrooms	Ceiling fans		
Heating System	Living	None		
	Bedrooms	None		
Ventilation	1 x Bathroom	Fan ducted to exterior	Interlocked to light	
	Kitchen	Fan ducted to exterior	Manual on/off	
	Laundry	Natural ventilation	N/A	
Natural Lighting	Window/Skylight in Kitchen		Yes	
	Window/Skylight in Bathrooms/Toilets		Yes	to 1
Artificial Lighting (rooms to be primarily lit by fluorescent or LED lights)	Number of bedrooms	0	Dedicated	No
	Number of Living/Dining rooms	0	Dedicated	No
	Kitchen	No	Dedicated	No
	All Bathrms/Toilets	No	Dedicated	No
	Laundry	No	Dedicated	No
OTHER COMMITMENTS				
	Outdoor clothes line	Yes	Ventilated refrigerator space	Yes
Stove/Oven		Gas cooktop & electric oven		

Ground Floor Door Schedule				
Level	Mark	Width	Height	Type
Ground Floor	SD1	3066	2121	ASD
Ground Floor	SD2	3066	2121	ASD

Ground Floor Window Schedule					
Level	Mark	Width	Height	Sill Height	Type
Ground Floor	W1	1791	1020	1143	ASW
Ground Floor	W2	2391	590	1573	ASW
Ground Floor	W3	2391	590	1573	ASW
Ground Floor	W4	1438	1800	363	ASW+FIXED
Ground Floor	W5	1438	1800	363	ASW+FIXED
Ground Floor	W6	2391	590	1573	ASW
Ground Floor	W7	2391	590	1573	ASW
Ground Floor	W8	1791	1020	1143	ASW

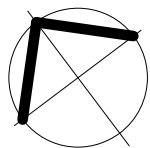
Ground Floor
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Unit Development

Client:

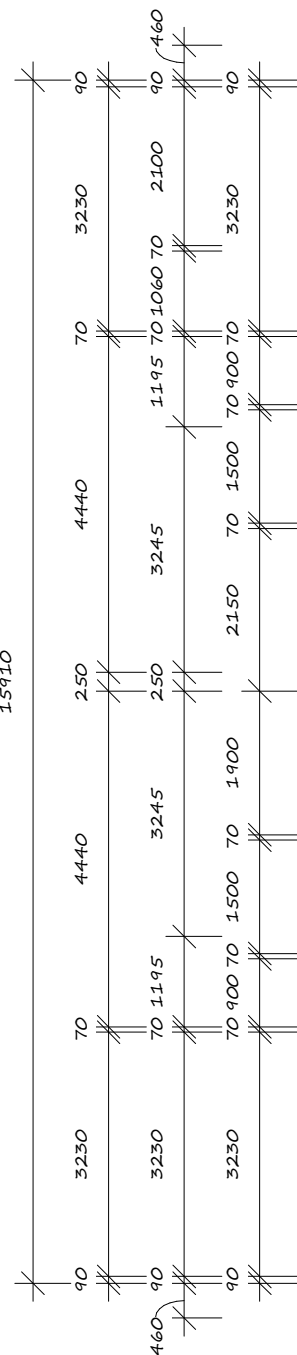
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Drawn By:	CDB
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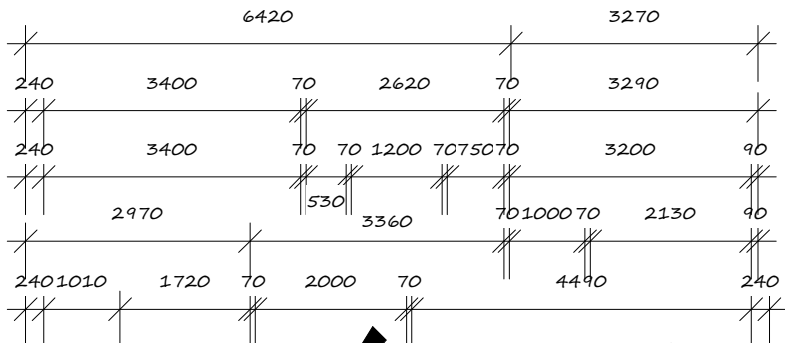


NORTH

90 x 90 F7 KILN DRIED TREATED PINE
OR 100 x 100 HARDWOOD POSTS TO
THE OWNERS DETAILS



WETSEAL TO THE MANUFACTURERS
SPECIFICATIONS WITH SELECTED TILES OVER
FIXED TO THE MANUFACTURERS SPECIFICATIONS



SELECTED FACE BRICKWORK

SELECTED
900 VANITY

SELECTED WEATHERBOARDS, SIMILAR TO EXISTING
DWELLING, FIXED TO THE MANUFACTURERS
SPECIFICATIONS. BLEND AND STAGGER AS REQUIRED TO
CONCEAL LINE OF NEW ADDITIONS

90 x 45 F7 STUD WALLS. WALL FRAMING,
BRACING AND TIE-DOWNS TO THE WALL
MANUFACTURERS SPECIFICATIONS AND AS1684

1
Ar05

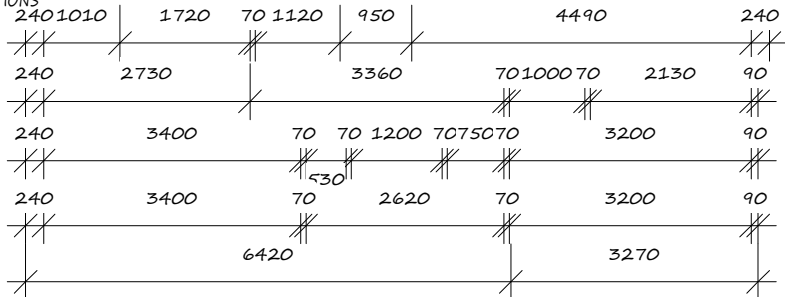
2
Ar05

2
Ar05

70 x 35 F7 STUD WALLS. WALL FRAMING,
BRACING AND TIE-DOWNS TO THE WALL
MANUFACTURERS SPECIFICATIONS AND AS1684

SELECTED 1500 BATH

SELECTED ALUMINIUM WINDOWS AND
DOORS TO THE OWNERS DETAILS AND
MANUFACTURERS SPECIFICATIONS



First Floor

1

1 : 100

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November 2013 BSA Reference: 8663
Building Sustainability Assessments Ph: (02) 4962 3439
enquiries@buildingsustainability.net.au www.buildingsustainability.net.au

Important Note for Development Applicants

The following specification was used to achieve the thermal performance values indicated on the Assessor Certificate. If they vary from drawings or other specifications this Specification shall take precedence. If only one specification option is detailed for a building element, that specification must apply to all instances of that element for the whole project. If alternate specifications are detailed, the location and extent of the alternate specification must be detailed below and / or clearly indicated on referenced documentation. Once the development is approved by the consent authority, these specifications will become a condition of consent and must be included in the built works. If you do not want to include these requirements, the proposed construction varies to those detailed or need further information, please contact Building Sustainability Assessments. This assessment has assumed that the BCA provisions for building sealing will be complied with at construction. No loss of insulation arising from ceiling penetrations has been simulated.

Thermal Performance Specifications

External Wall Construction	Insulation	Colour (Solar Absorptance)	Detail
Brick Veneer & Lightweight	R2.0	Any	

Internal Wall Construction	Insulation	Detail
Plasterboard on studs	none	

Ceiling Construction	Insulation	Detail
Plasterboard	R3.5 to ceilings adjacent to roof space	

Roof Construction	Insulation	Colour (Solar Absorptance)	Detail
Metal	Foil + R1.0 blanket	Any	

Floor Construction	Insulation	Covering	Detail
Concrete & Timber	none	As drawn (if not noted default values used)	

Windows	Glass and frame type	U	SHGC	Area sq m	Detail
Generic	Single clear Aluminium			As drawn	

Skylights	Glass and frame type	U	SHGC	Area sq m	Detail

U and SHGC values are according to NFRC. Alternate products may be used if the U value is lower and the SHGC is less than 10% higher or lower than the above figures.

External Window Cover	Detail

Fixed shading - Eaves	Width includes guttering, offset is distance above windows
Width: as drawn	Offset: as drawn

Fixed shading - Other	Verandahs, Pergolas (type and description)
	Shaded areas and shade devices as drawn

For construction in NSW the BCA Vol 1 or 2 must be complied with, in particular the following:
- Thermal construction in accordance with Vol 1 Section J1.2 or Vol 2 Part 3.12.1.1
- Thermal breaks in accordance with Section J1.3(d) & 1.5(c) or Part 3.12.1.2(c) & 3.12.1.4(b)
- Compensating for loss of ceiling insulation in accordance with Section J1.3(c) or Part 3.12.1.2(e)
- Floor insulation in accordance with Section J1.6(c) & (d) or Part 3.12.1.5(a)(iii) or (c) & (d)
- Building sealing in accordance with Section J3 or Part 3.12.3.1 to 3.12.3.6.

First Floor Window Schedule

Level	Mark	Width	Height	Sill Height	Type
First Floor	W9	1791	1191	972	ASW
First Floor	W10	1791	1020	1143	ASW
First Floor	W11	843	933	1573	ASW
First Floor	W12	2391	1191	972	ASW
First Floor	W13	2391	1191	972	ASW
First Floor	W14	2391	1191	972	ASW
First Floor	W15	2391	1191	972	ASW
First Floor	W16	843	933	1573	ASW
First Floor	W17	1791	1020	1143	ASW
First Floor	W18	1791	1191	972	ASW



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Assumed Class 'M'

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Revision Schedule

Date	Description	Issued by
27.11.13	Issued for council	CDB
06.02.14	Re-siting oval changed to log	MDA

Unit Development

Client:

Address:

Date: 02/08/13

Drawn By: CDB

Drawing No: 713-4458

Sheet: Ar02

Scale: 1 : 100 @ A3



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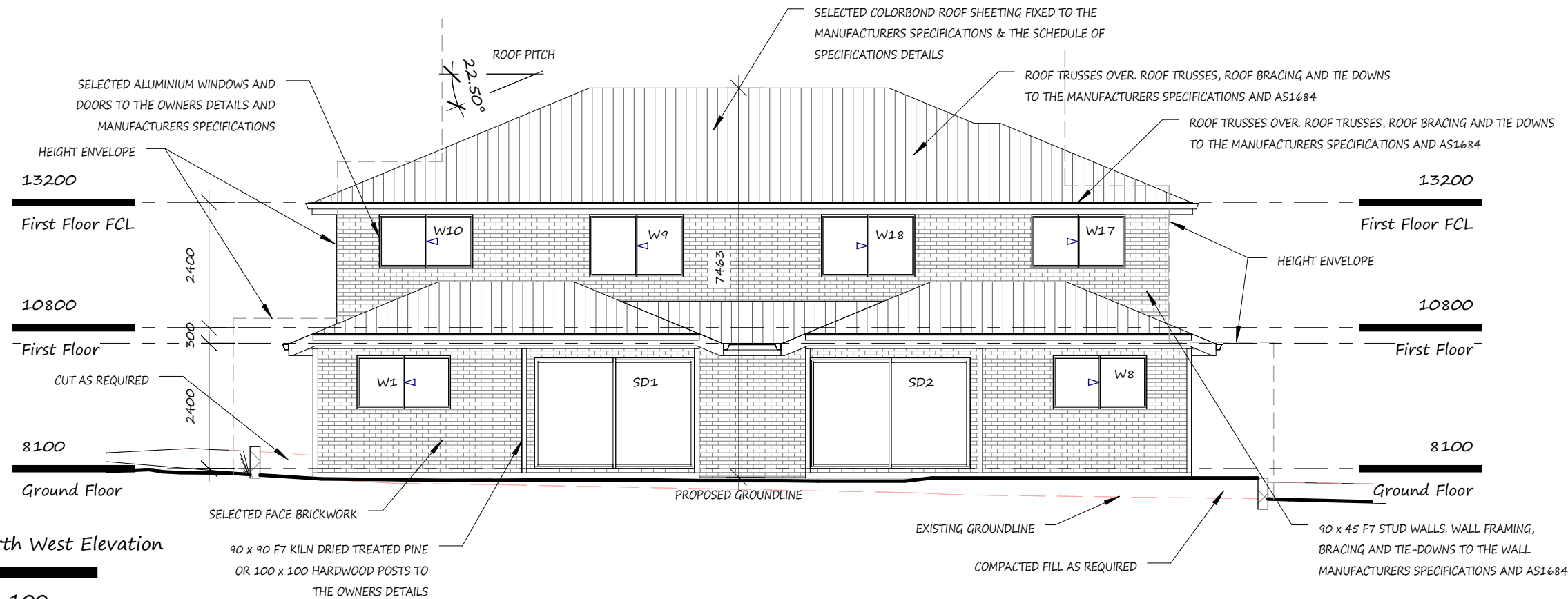
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Drawn By: CDB

Drawing No: 713-4458

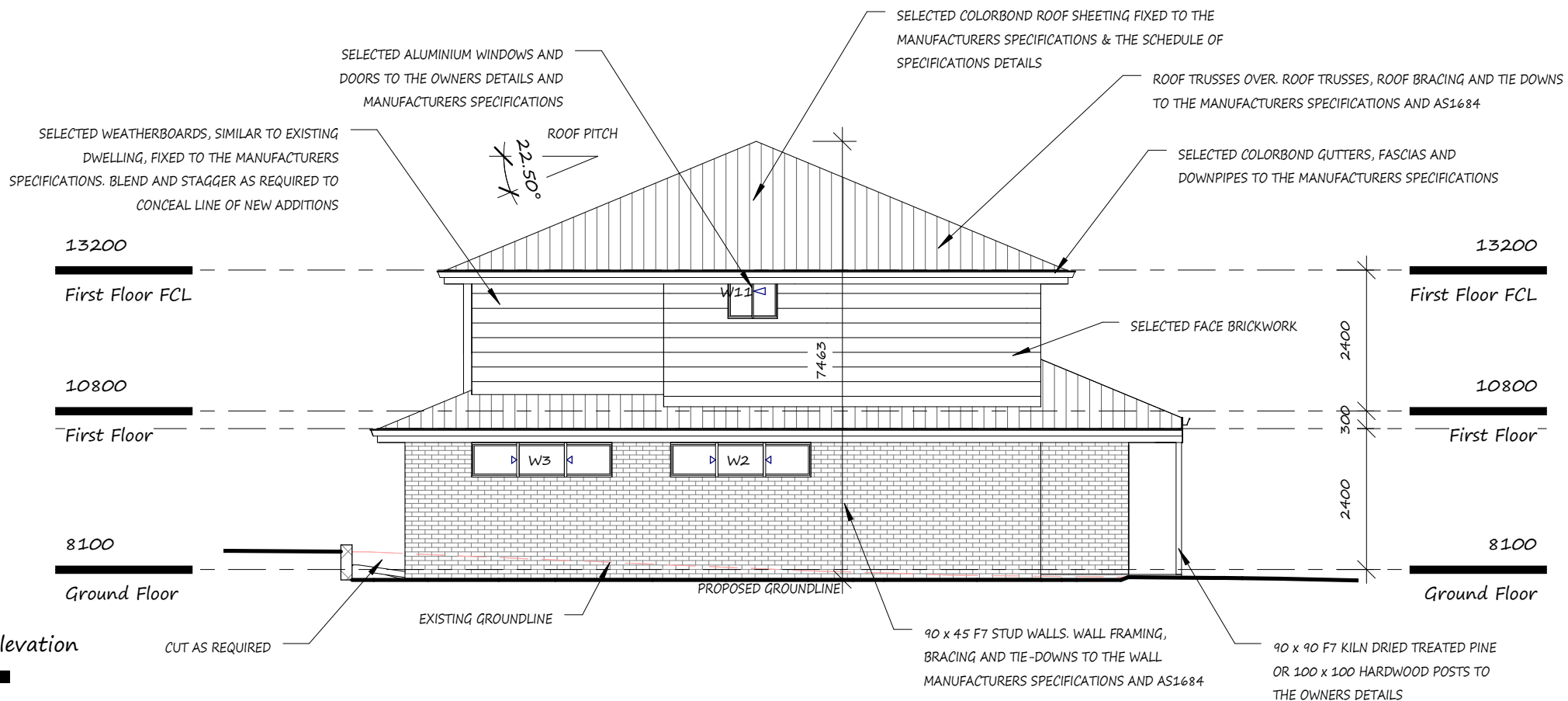
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North West Elevation

1 : 100



North East Elevation

1 : 100



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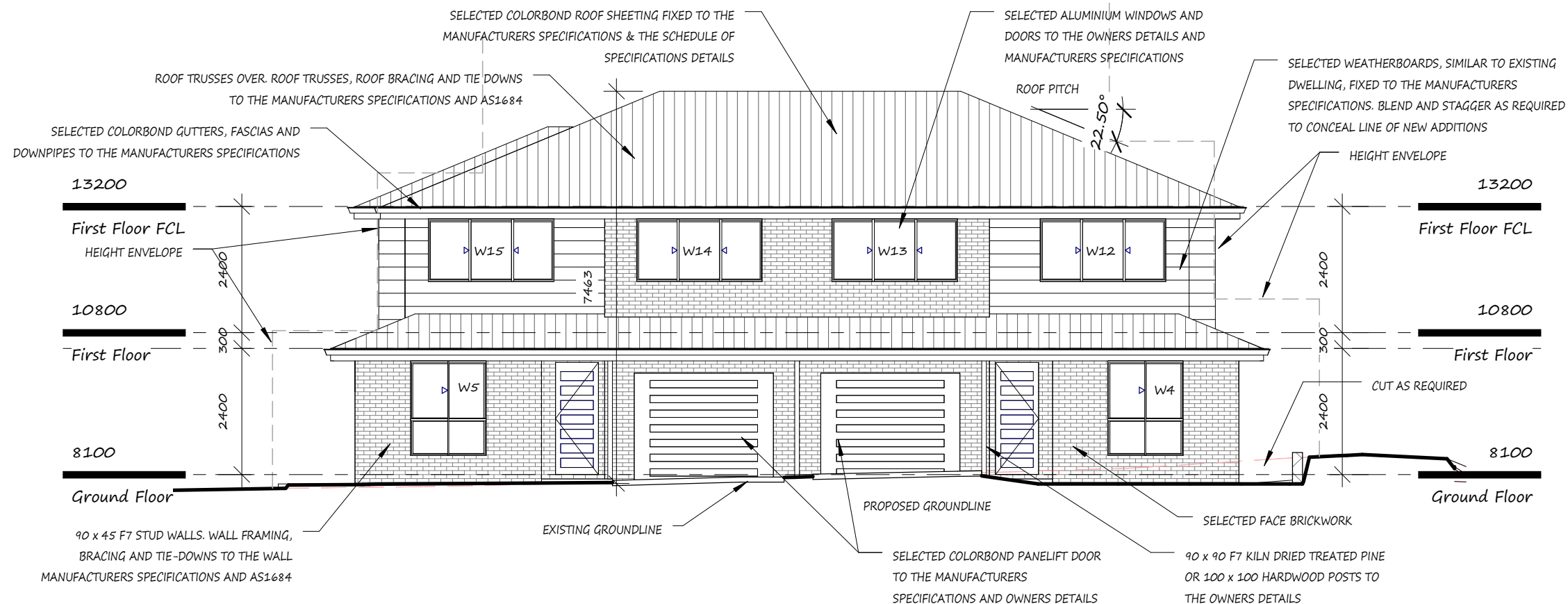
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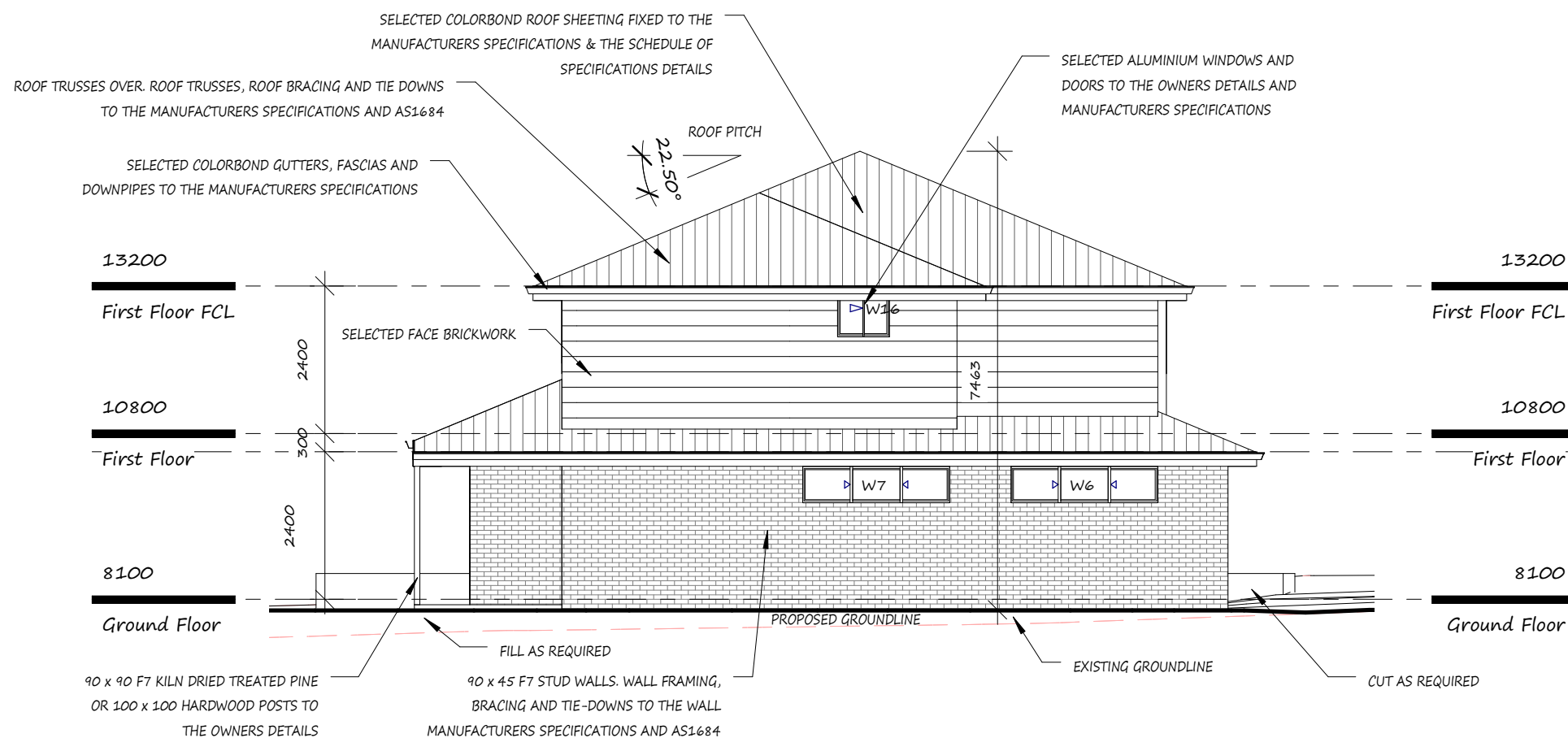
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South East Elevation

1
1 : 100



South West Elevation

2
1 : 100



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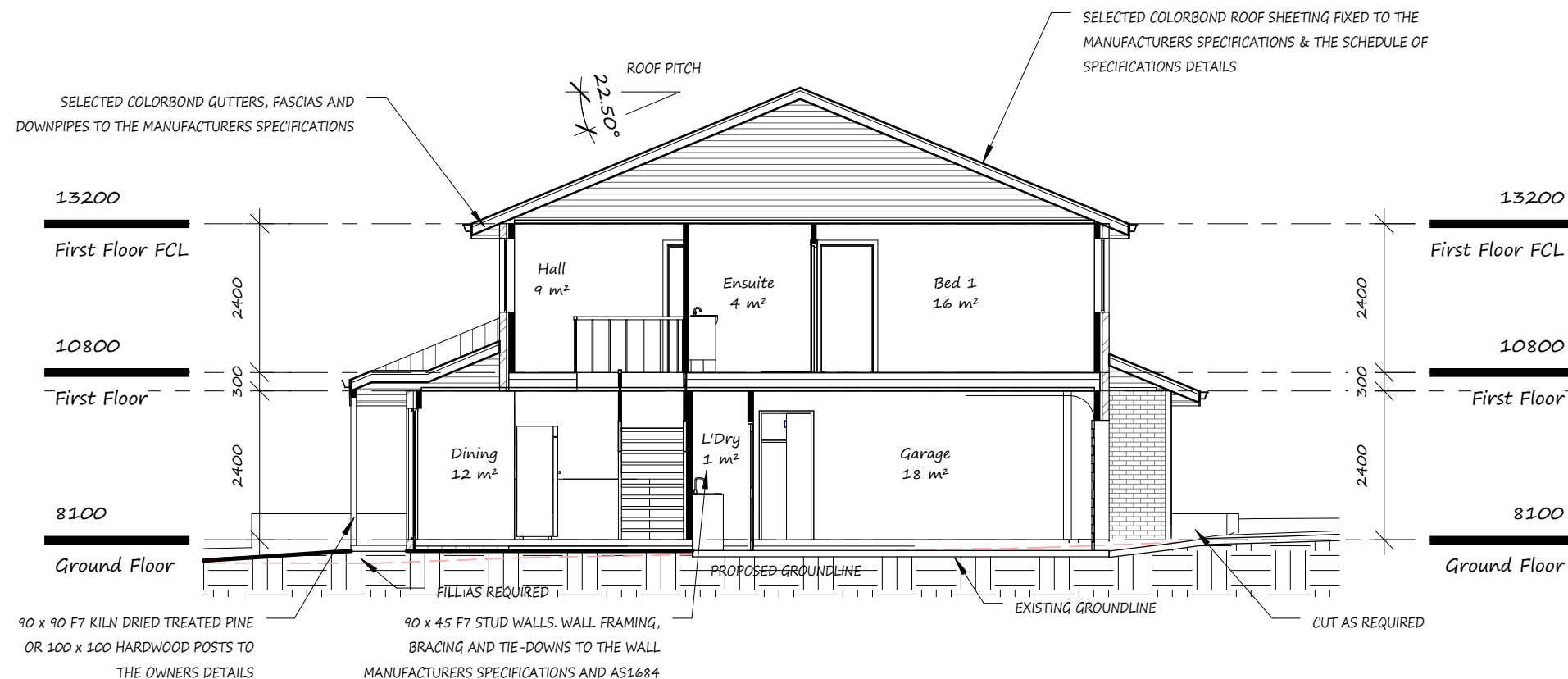
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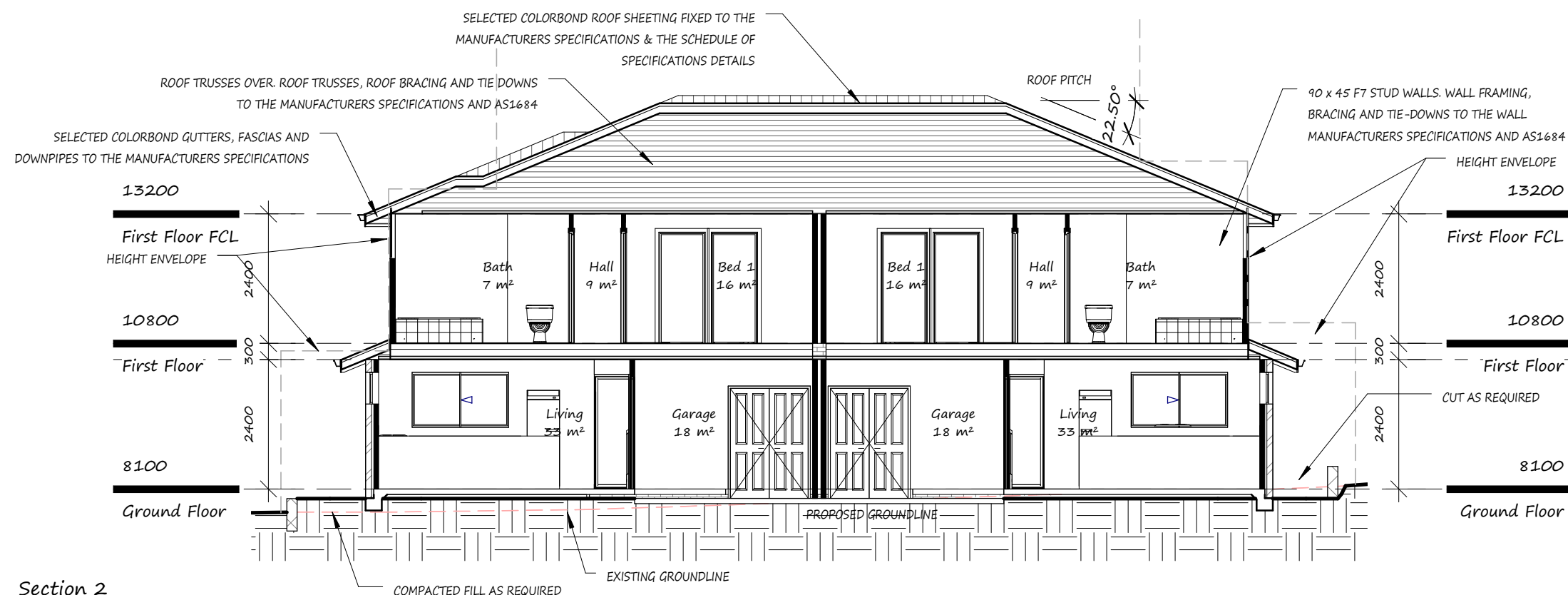
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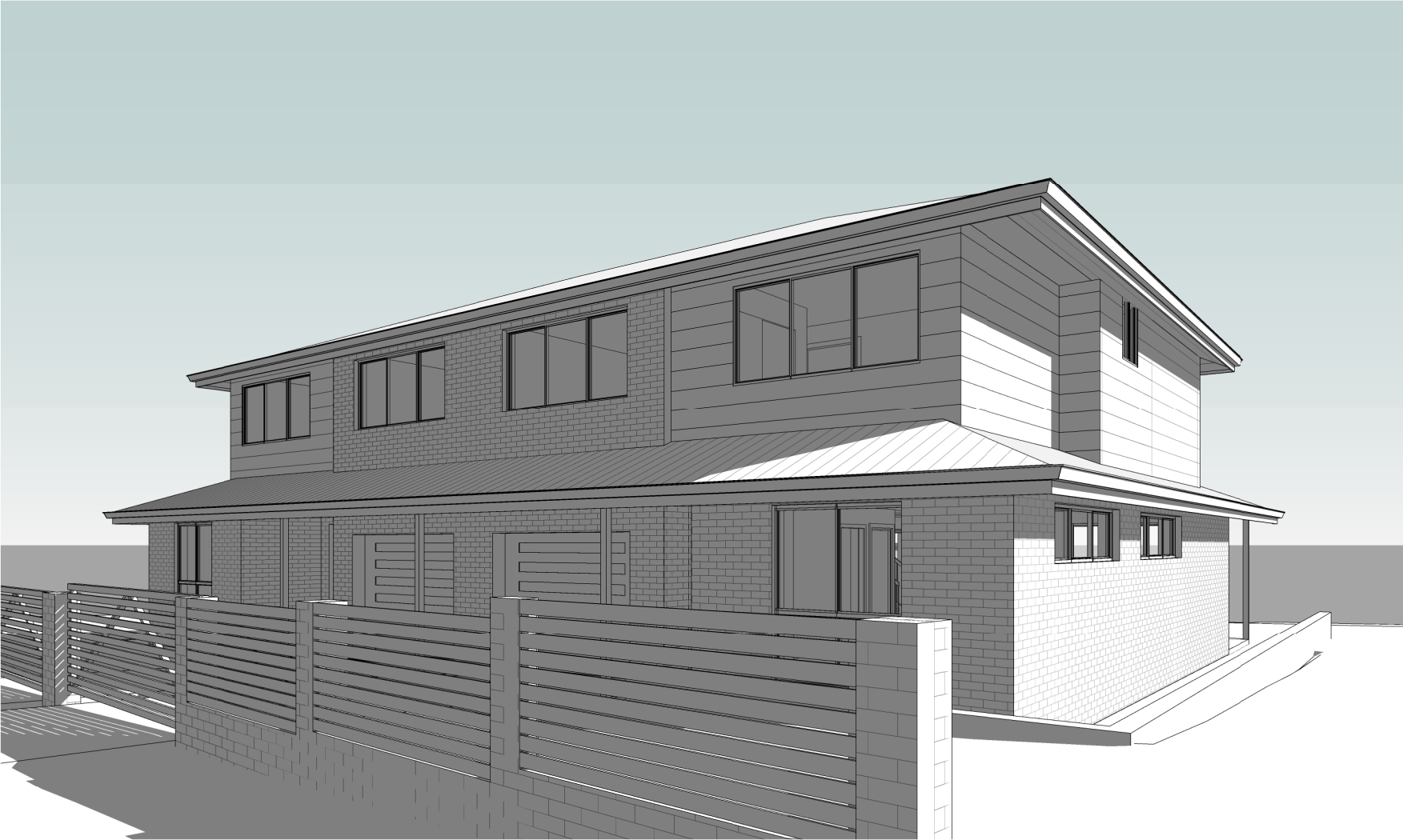
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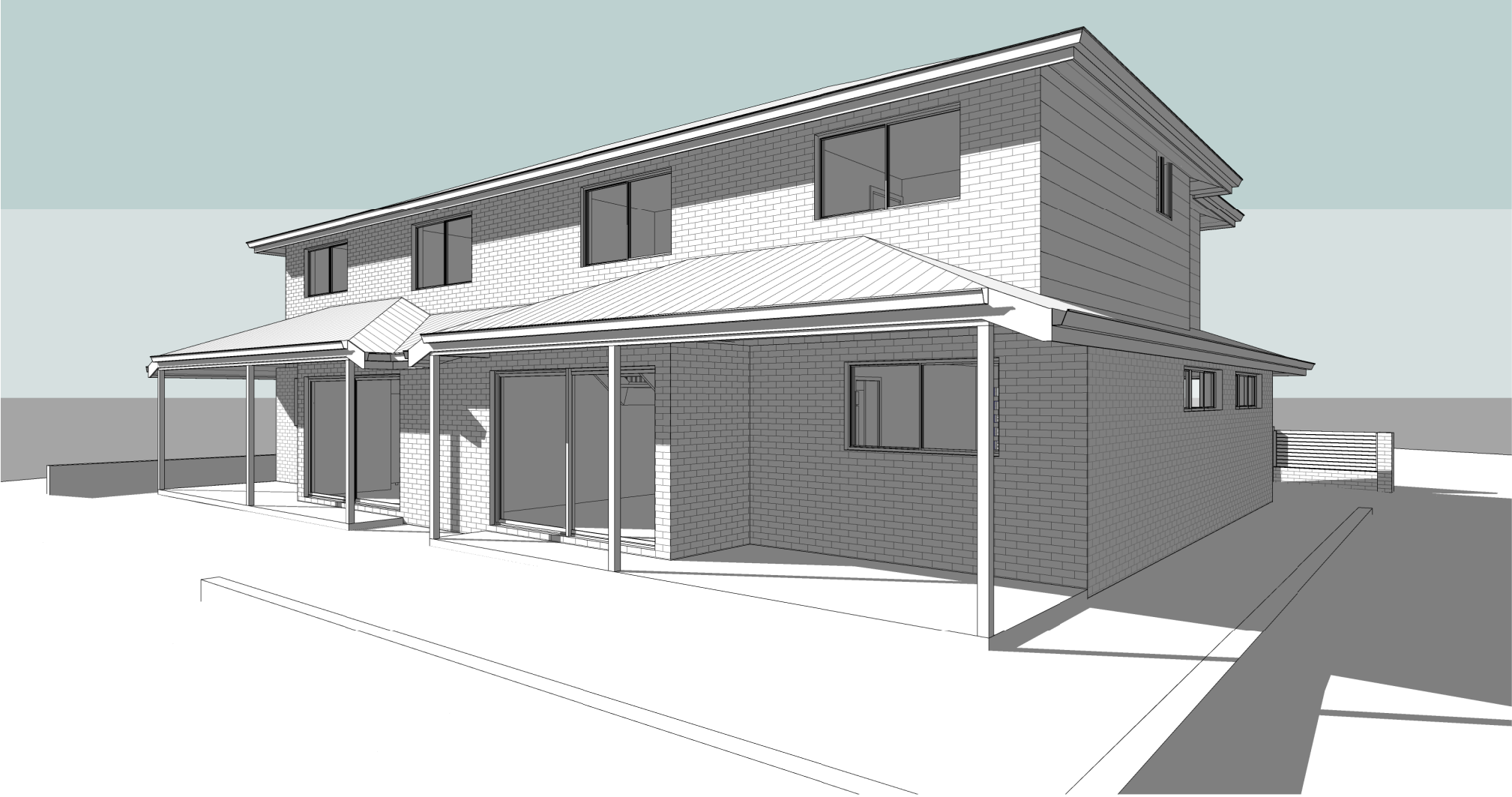
Section 2

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3D View 1

1



3D View 2

2



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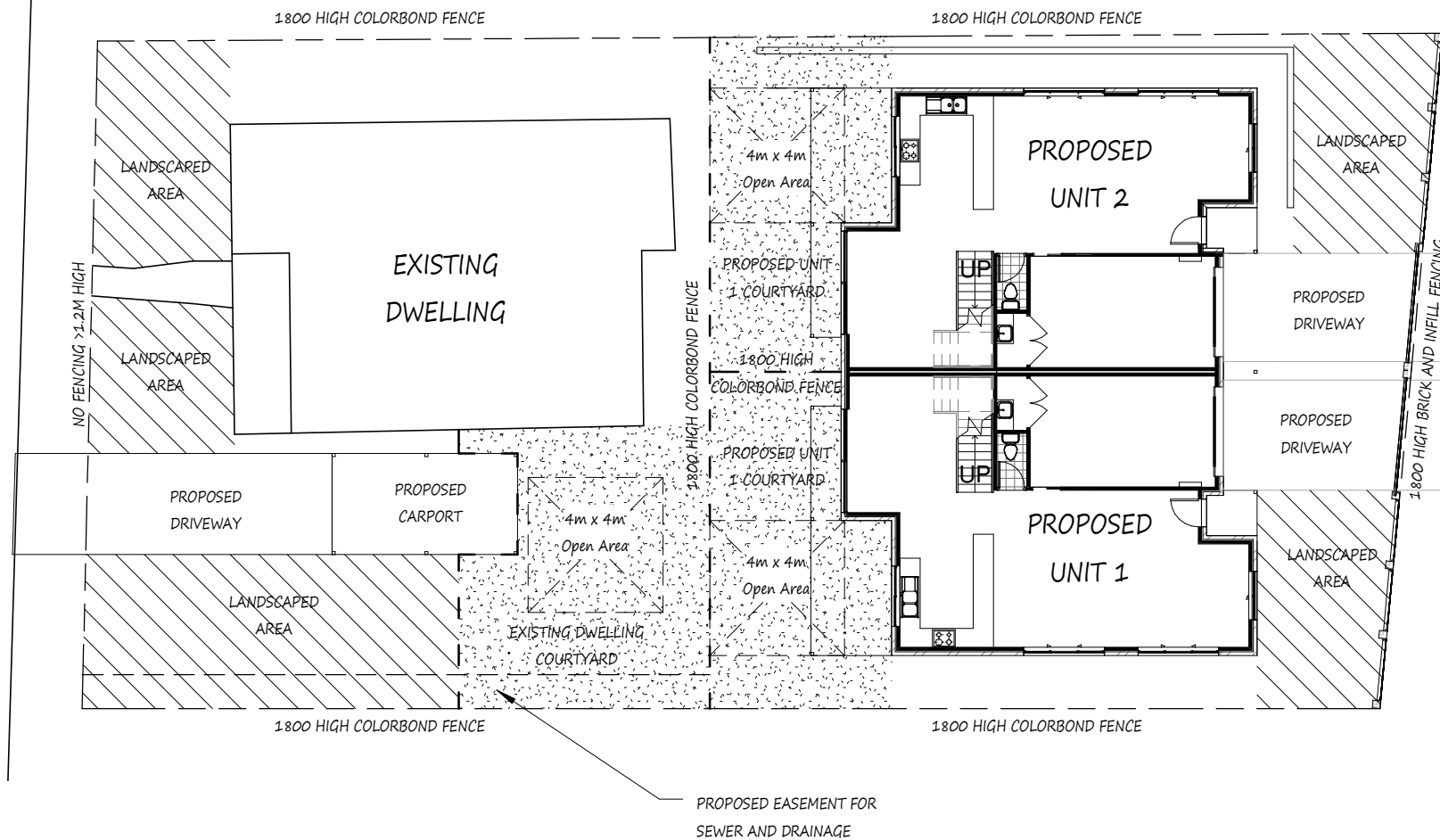
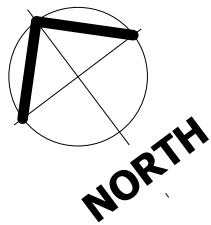
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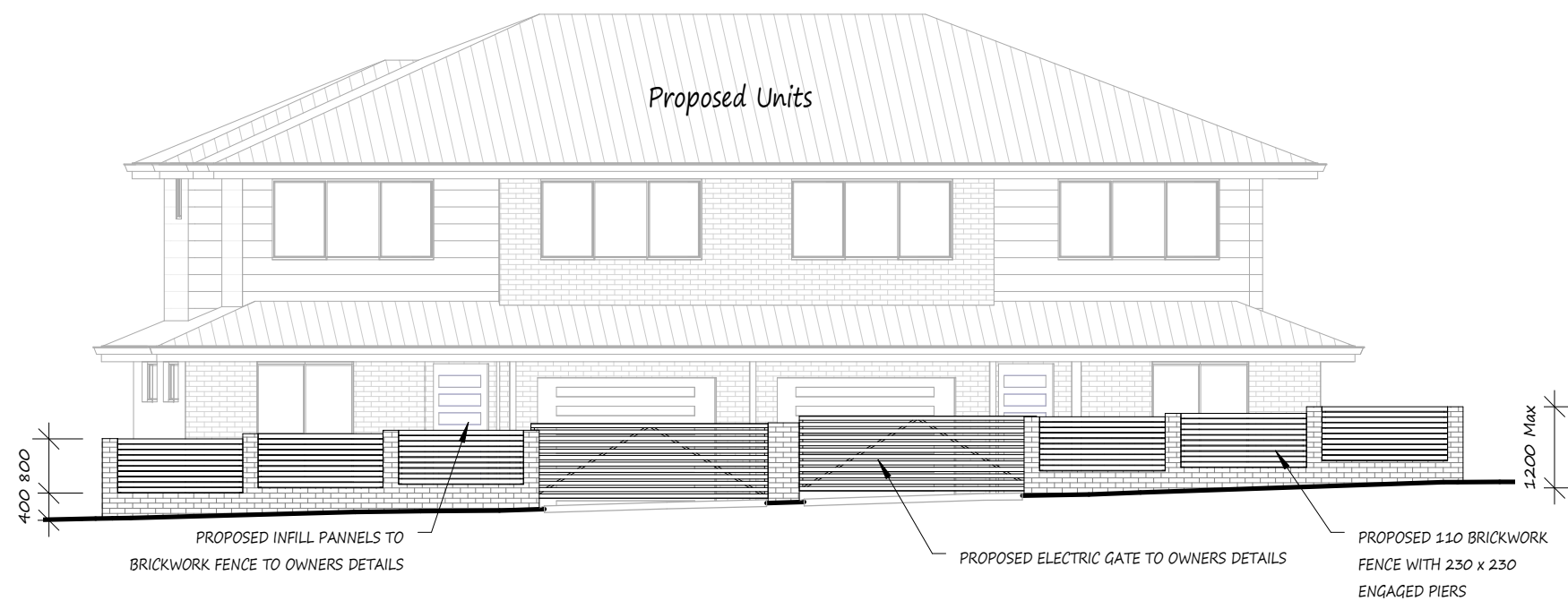
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Area Calculations & Fencing Plan

1 **1 : 200**



Front Fence Elevation

2 **1 : 100**

SITE CALCULATIONS

SITE AREA = 788.0sq.m
TOTAL LANDSCAPE AREA = 149.2sq.m
LANDSCAPED AREA IN COURTYARDS = 91.8sq.m
TOTAL LANDSCAPE = 30.6%
TOTAL LIVING AREA = 405.1sq.m
FSR = 0.52:1

Area Schedule	
Name	Area
Existing Dwelling Carport	16.5 m ²
Existing Dwelling Courtyard	56.9 m ²
Existing Dwelling Driveway	21.8 m ²
Existing Dwelling Living	105.9 m ²
Existing Dwelling Verandah	9.0 m ²
Landscaped Area	149.2 m ²
Other Site Area	114.3 m ²
Unit 1 Courtyard	39.0 m ²
Unit 1 Downstairs Living	72.6 m ²
Unit 1 Driveway	17.7 m ²
Unit 1 Garage	19.8 m ²
Unit 1 Porch	2.0 m ²
Unit 1 Portico Not Included in Courtyard Calculation	6.0 m ²
Unit 2 Courtyard	38.7 m ²
Unit 2 Downstairs Living	72.6 m ²
Unit 2 Driveway	18.5 m ²
Unit 2 Garage	19.8 m ²
Unit 2 Porch	2.0 m ²
Unit 2 Portico Not Included in Courtyard Calculation	6.0 m ²
	788.0 m ²



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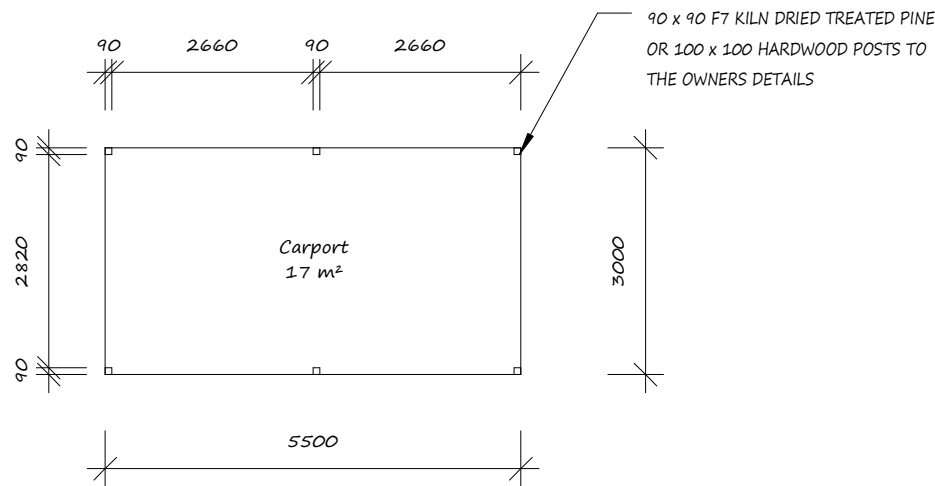
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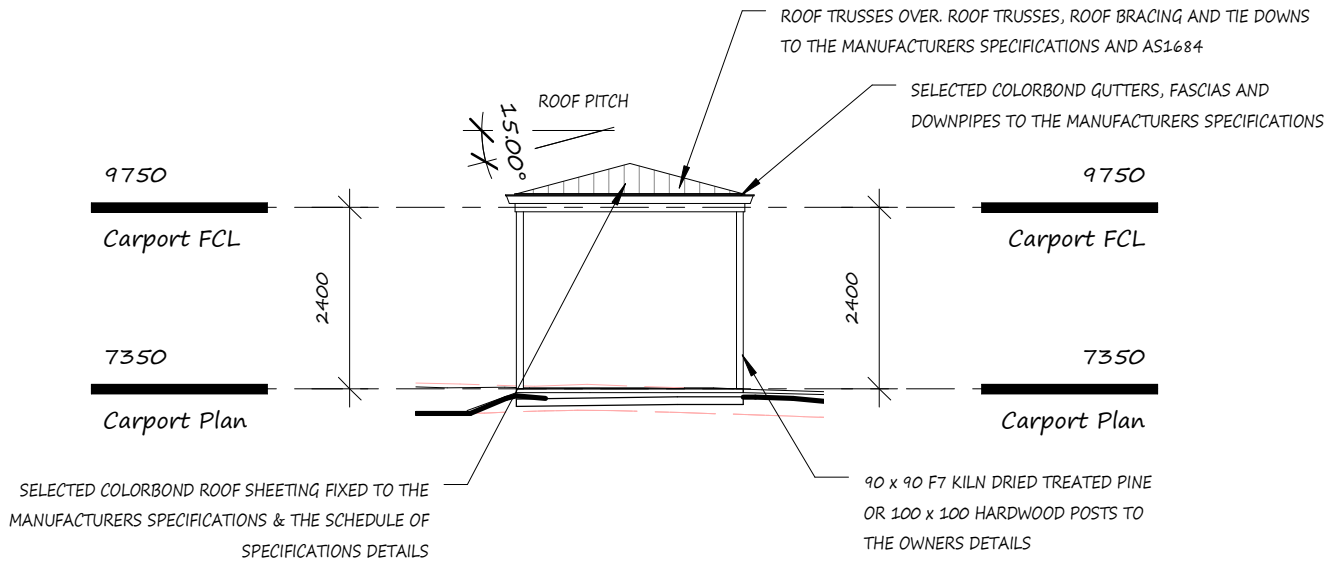
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Carport Plan

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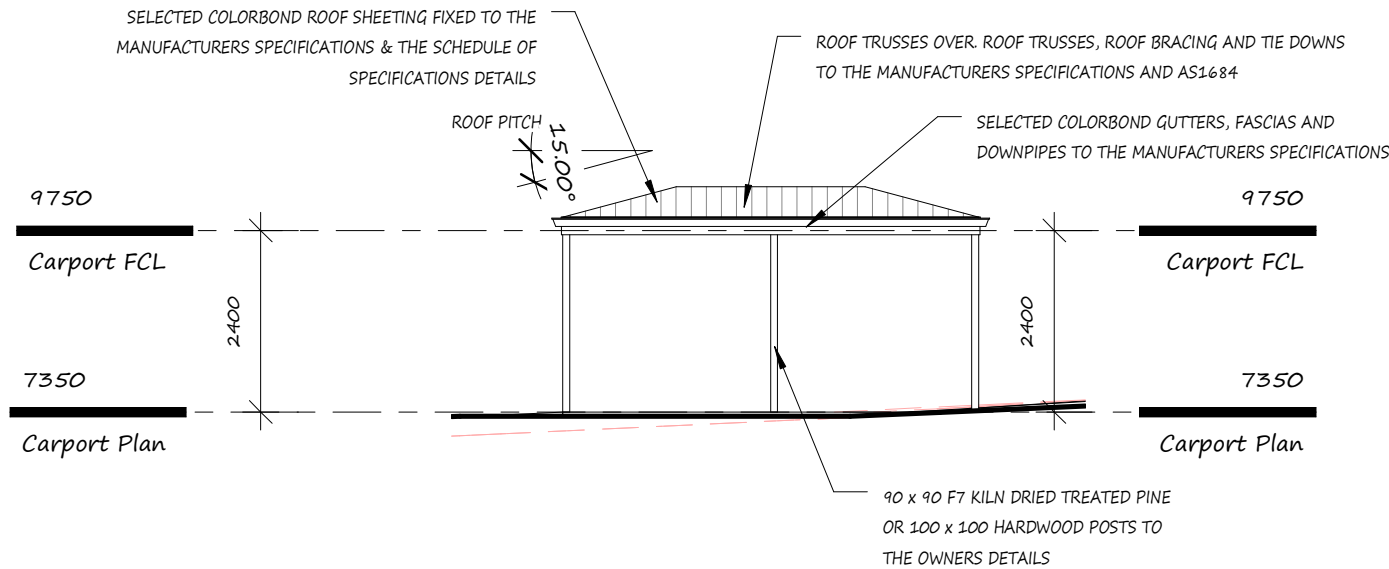
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North West Elevation Carport

3

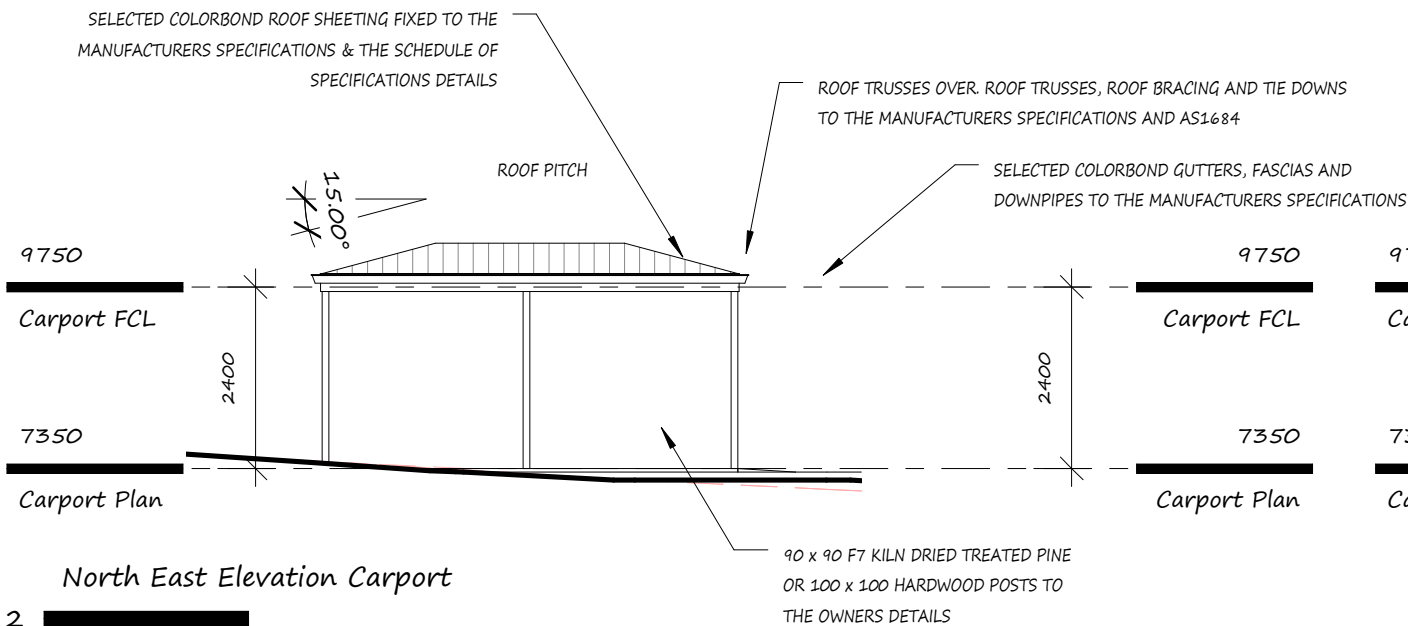
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South West Elevation Carport

5

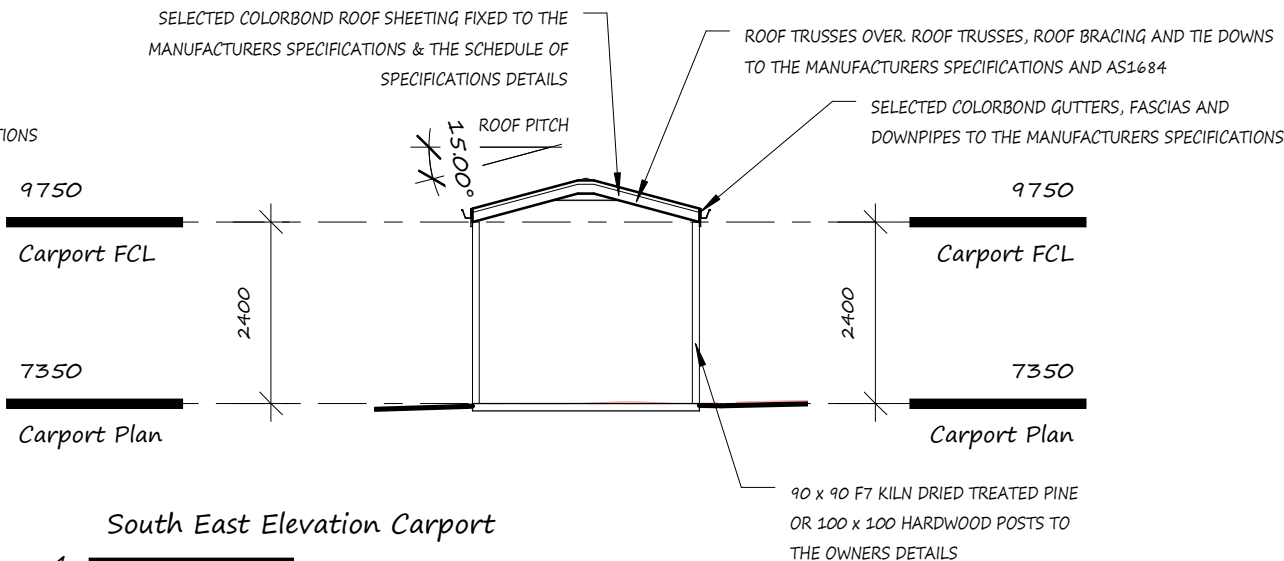
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North East Elevation Carport

2

1 : 100



South East Elevation Carport

4

1 : 100



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Client:

Address:

Date: 02/08/13

Drawn By: CDB

Drawing No: 713-4458

Sheet: A009

Scale: 1 : 100 @ A3



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27.03.14	Issued for council	CDB

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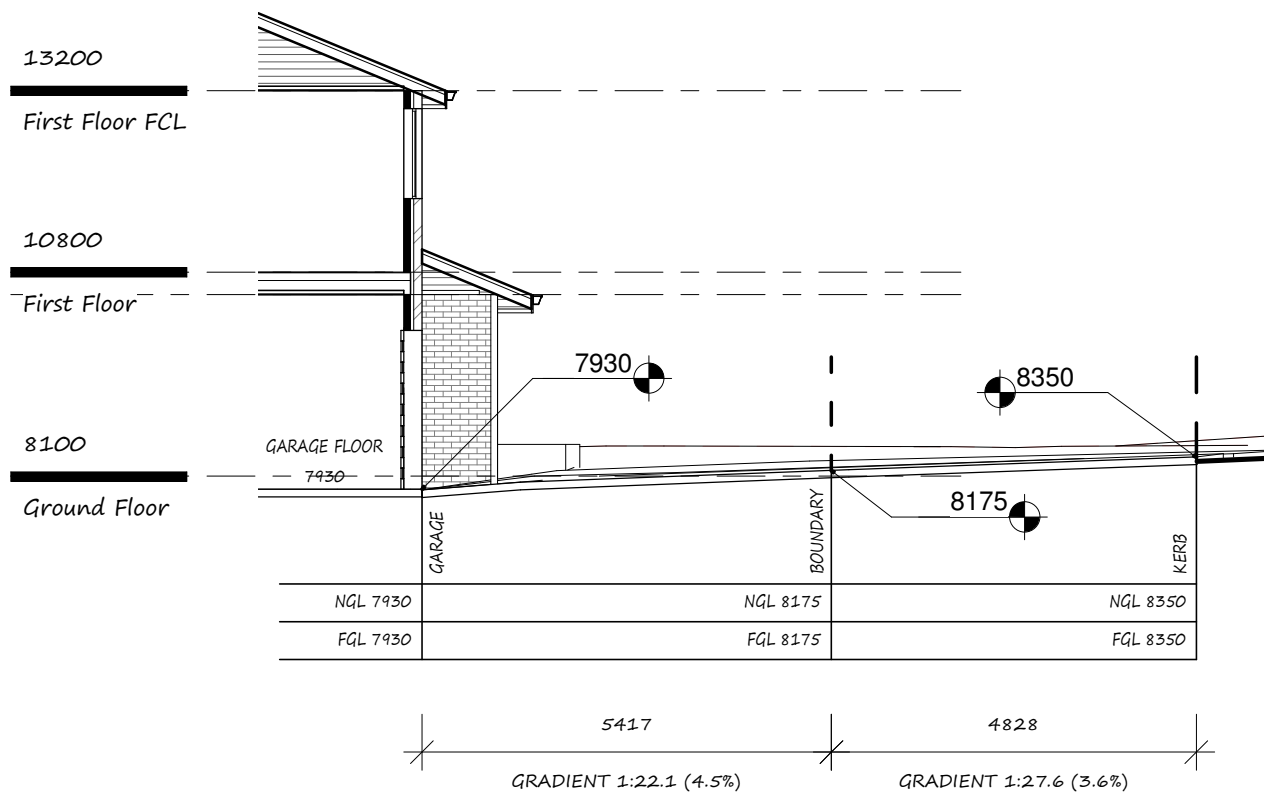
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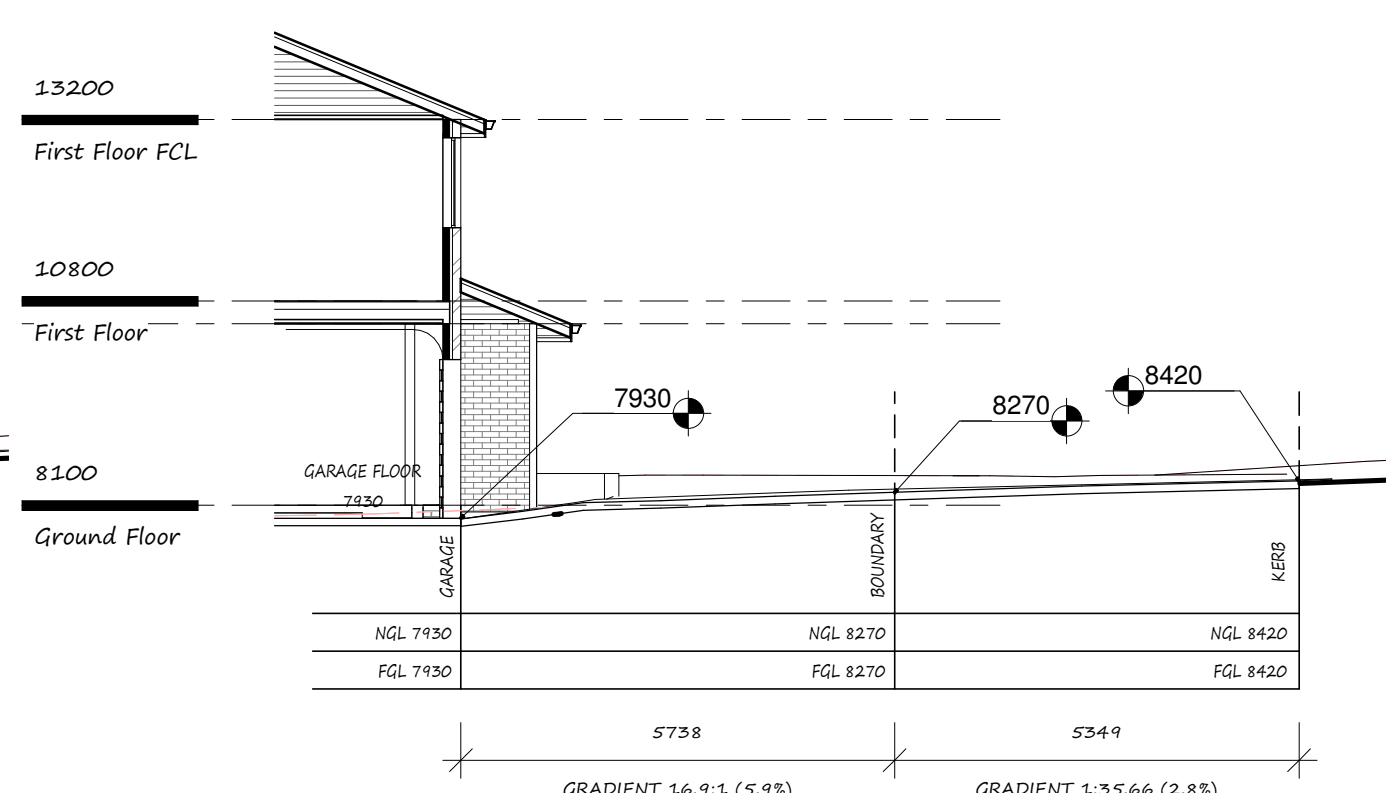
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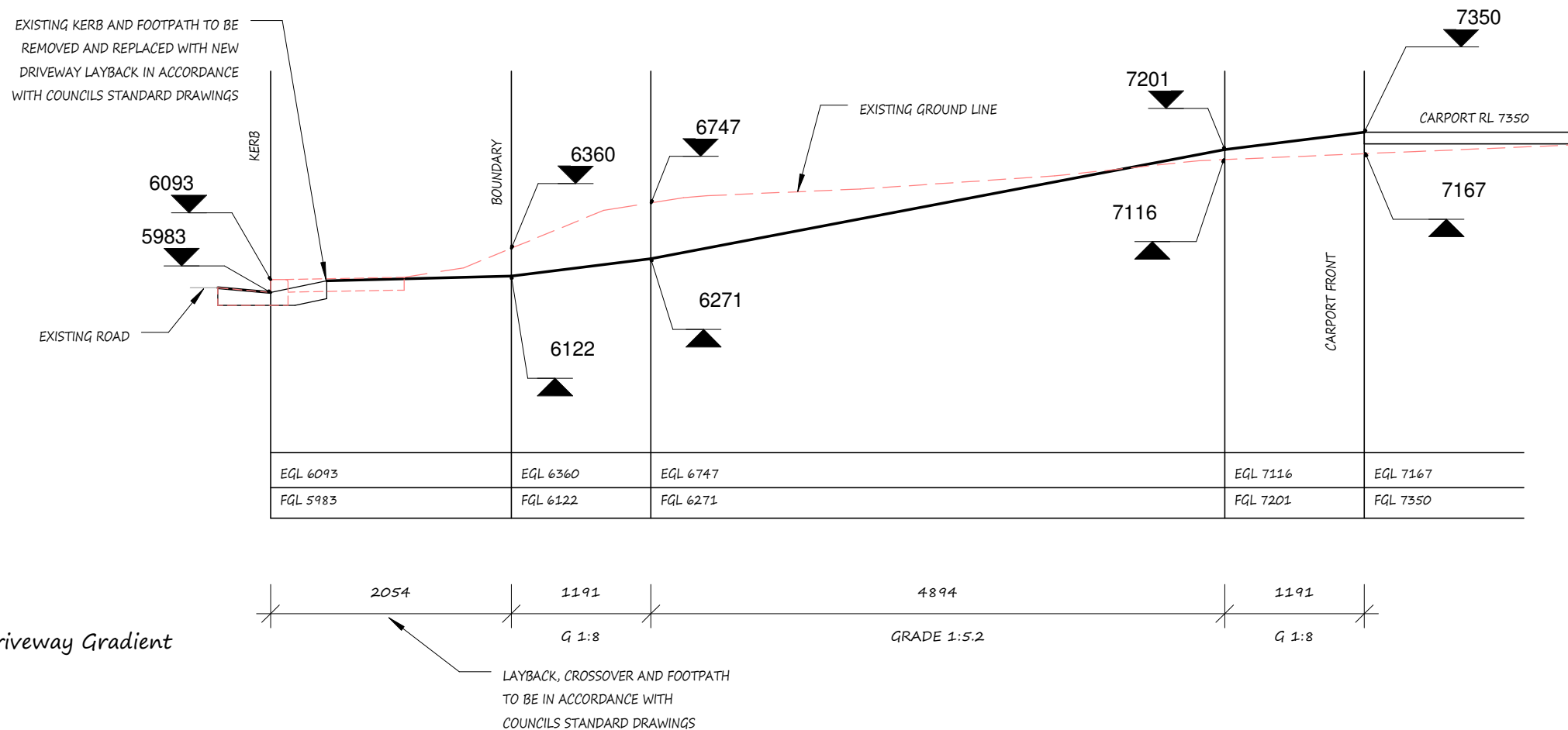
Unit 1 Driveway Gradient

2
1 : 100



Unit 2 Driveway Gradient

3
1 : 100



Existing Dwelling Driveway Gradient

1
1 : 50



Plan Vision Australia

27 Eighth Street, Adamstown
W/ (02) 40231266 M/ 0414 011 483

BUILDERS NOTE :

Use Dimensions in preference to scale.
Site verify all dimensions before ordering Materials.
Footings information shown on these plans may have to be changed if Builders site excavations reveal non-virgin ground. Consultation of Plan Vision Australia Pty Ltd would then be necessary to determine the required changes.
Builder to inspect adequacy of existing footings & piers for proposed scope of works. Replace existing footings & sub floor members as necessary
Materials are under no circumstances to be ordered direct off Additions Plans.
Materials to be ordered are only to be ordered from a Builders or applicable product manufacturers seperate site confirmed Materials list.
Additions plans are not intended to be the absolute medium for construction information accuracy due to existing buildings discrepancies and existing buildings hidden characteristics. See schedule of specifications for further details.

Assumed N2 (W33N) Wind Speed

Assumed Class 'M'

SURVEY NOTE :

Boundary dimensions are assumed only and taken from site information, others or owners information. Confirm boundaries before commencement of construction.
Full project specific detailed survey plans have not been supplied to Plan Vision for planning purposes See schedule of specifications for details.

Revision Schedule

Date	Description	Issued by
27.11.13	Issued for council	CDB
08.02.14	Resubmitting council changed to log	MWA

Unit Development

Client:

Address:

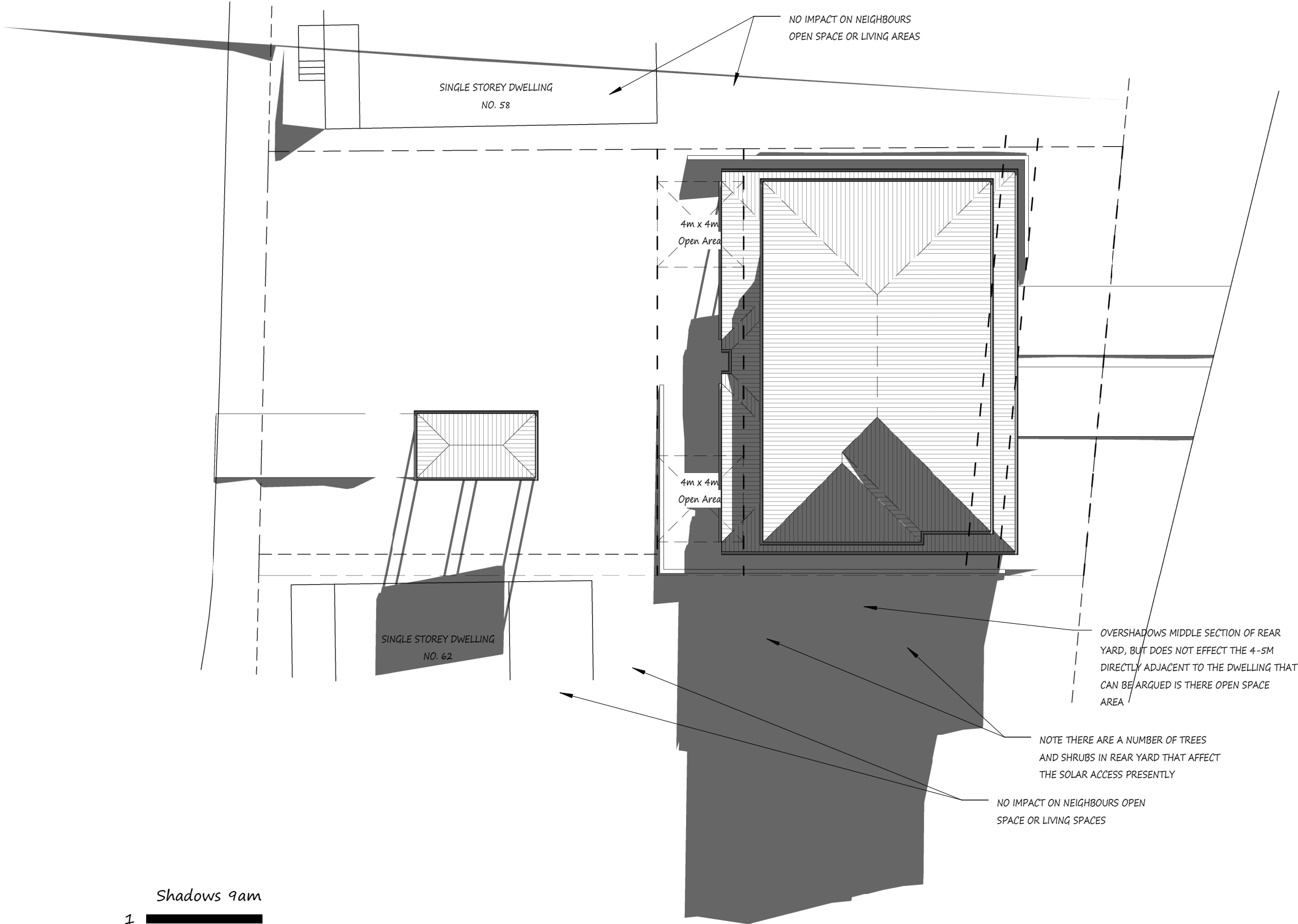
Date: 02/08/13

Drawn By: MWA

Drawing No: 713-4458

Sheet: Ar11

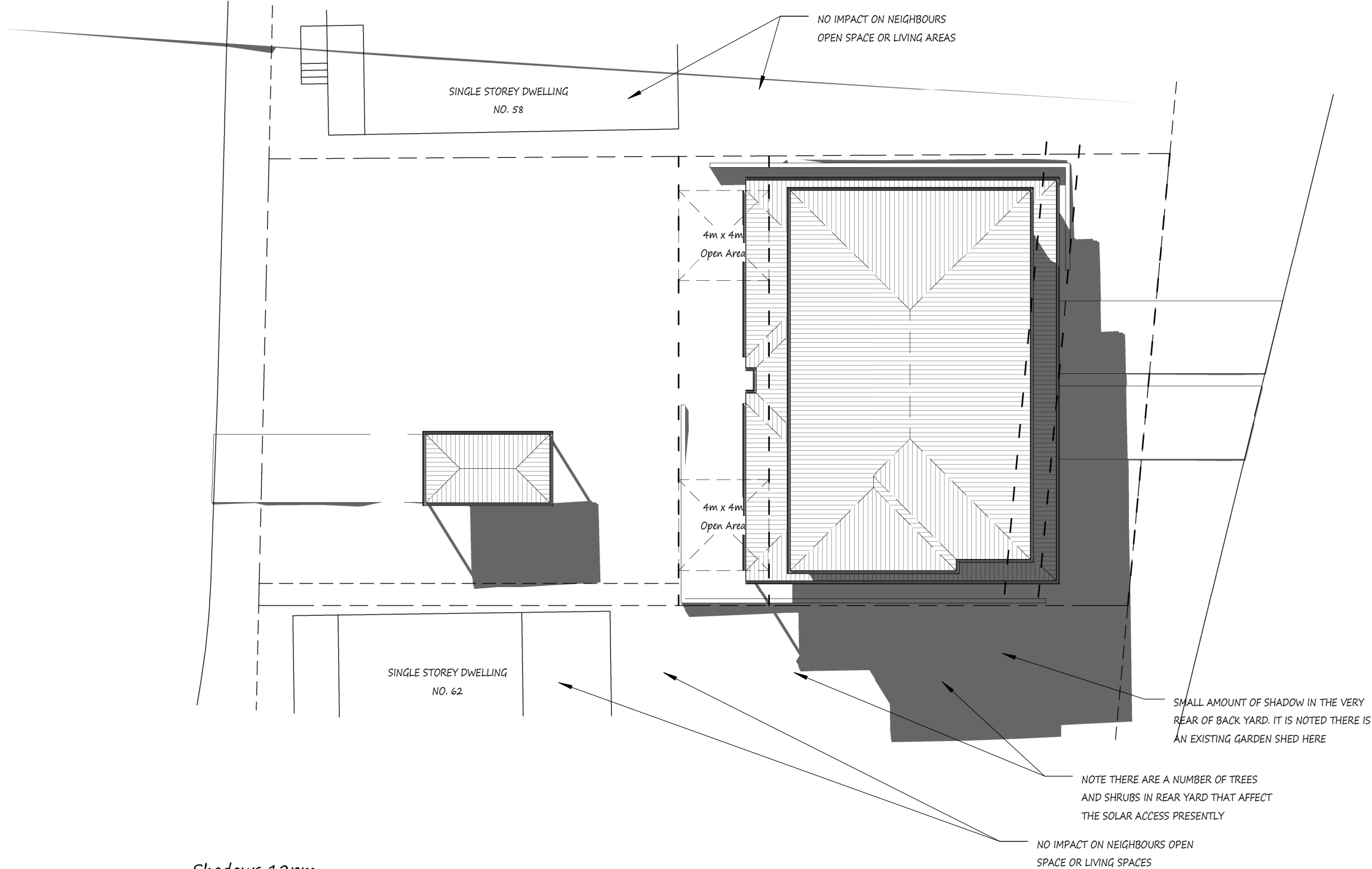
Scale: 1 : 200 @ A3




Shadows 9am

1

1 : 200



Shadows 12pm
1 
1 : 200



Plan Vision Australia

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Assumed N2 (W33N) Wind Speed

Assumed Class 'M'

SURVEY NOTE :

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Revision Schedule

Date	Description	Issued by
27.11.13	Issued for council	CDB
08.02.14	Revisiting oval changed to log	MWA

Unit Development

Client:

Address:

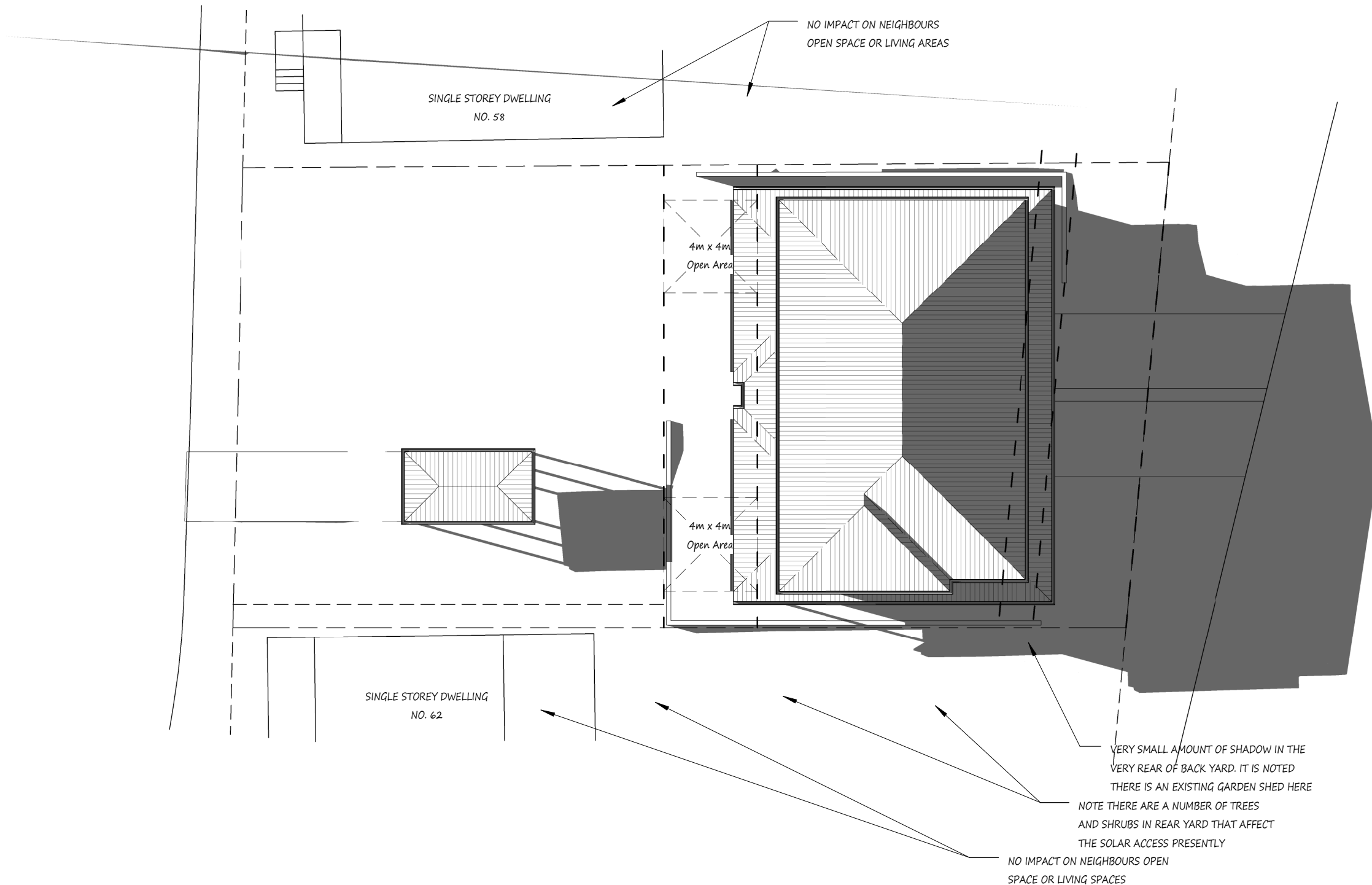
Date: 02/08/13

Drawn By: MWA

Drawing No: 713-4458

Sheet: Ar12

Scale: 1 : 200 @ A3



Shadows 3pm
1
1 : 200



Plan Vision Australia

27 Eighth Street, Adamstown
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Assumed N2 (W33N) Wind Speed

Assumed Class 'M'

SURVEY NOTE :

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Revision Schedule

Date	Description	Issued by
27.11.13	Issued for council	CDB
08.02.14	Resubmitting with changed to log	MWA

Unit Development

Client:

Address:

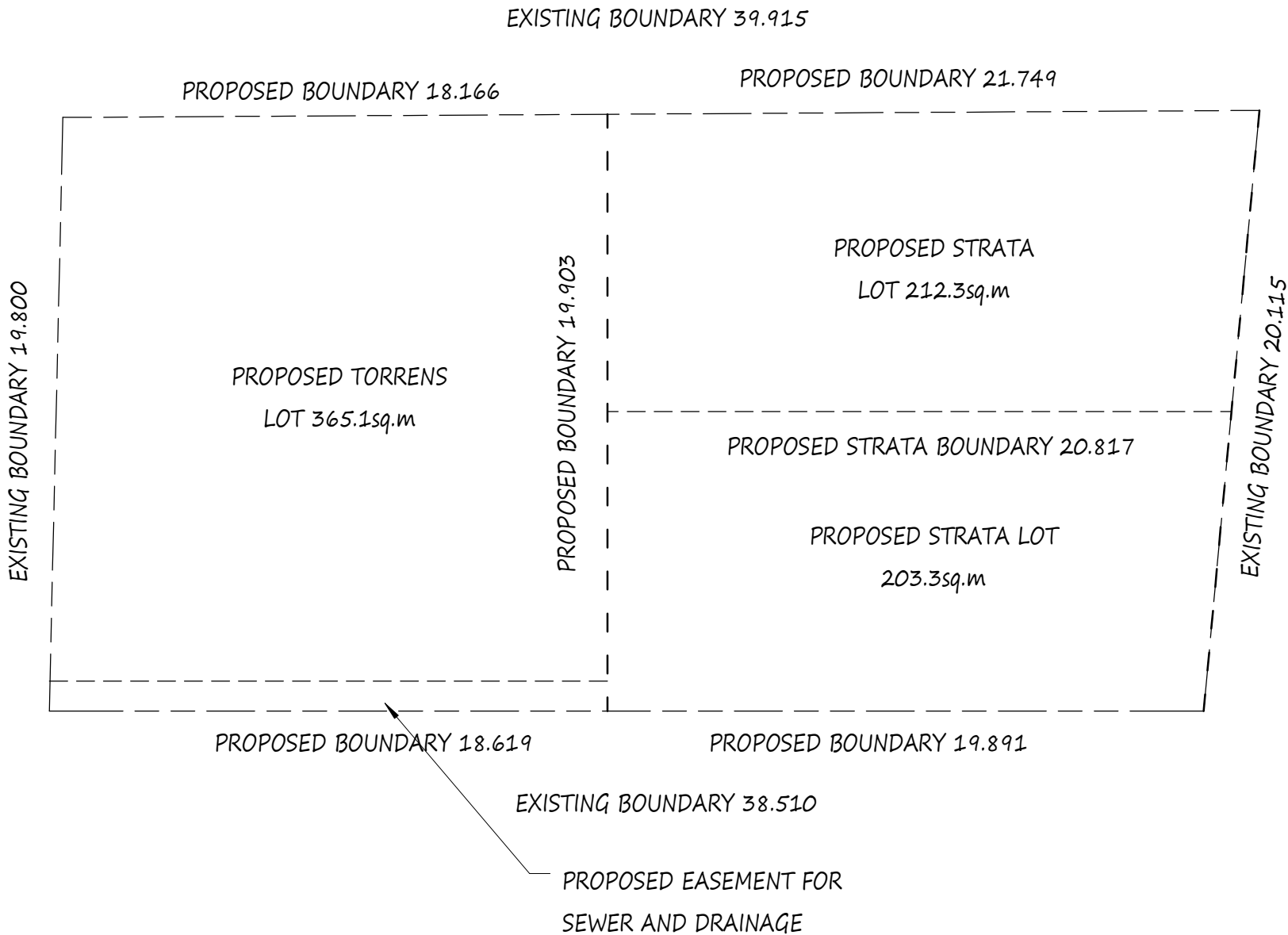
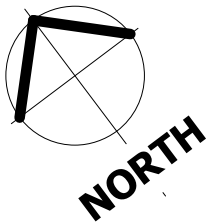
Date: 02/08/13

Drawn By: MWA

Drawing No: 713-4458

Sheet: Ar13

Scale: 1 : 200 @ A3



Subdivision Plan
1
1 : 200



Plan Vision Australia

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See schedule of specifications for further details.

Assumed N2 (W33N) Wind Speed

Assumed Class 'M'

SURVEY NOTE :
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Revision Schedule		
Date	Description	Issued by
27.11.13	Issued for council	CDB
08.02.14	Rebuilding oval changed to log	MWA

Unit Development

Client:

Address:

Date: 02/08/13

Drawn By: MWA

Drawing No: 713-4458

Sheet: Ar14

Scale: 1 : 200 @ A3